



This meeting will be held virtually. To join the meeting by computer please click the link <https://us02web.zoom.us/j/8697557180>. Once connected you can join by computer audio or dial in via the information that is provided on your screen. To join by phone only please dial **(929) 205 6099** and enter the Meeting ID **869 755 7180**.

**AGENDA
BOARD OF APPEALS
APRIL 27, 2021**

- I. Call to order and roll call.

- II. Case #2021-1 - to consider an application by Collin Wannop who is the owner of the real Property known as 8736 Bayside Road, Chesapeake Beach, Maryland, for a variance to Section 290-19A of the Town of Chesapeake Beach Zoning to allow a new house addition to encroach 5.2 feet into the required 8-foot side yard.

- III. Case #2021-2 – to consider an application by Ron & Sheri Martin, who are the owners in fee simple of real property known of 3910 27th Street, Chesapeake Beach, Maryland, for a variance to Section 290-19A of the Town of Chesapeake Beach Zoning to allow a new house addition to encroach 7.0+/- feet into the required 8-foot side yard.

- IV. Adjournment

**APPLICATION
ZONING BOARD OF APPEALS
TOWN OF CHESAPEAKE BEACH**

- Decision on Interpretation or Alleged Error
- Special Exception
- Variance from Strict Application of Ordinance

PROPERTY INFORMATION TM BLK 1 Parcel 0000 Lot 2
TAX ID# 03069494 DEED REFERENCE: LIBER 5029 FOLIO 492
STREET ADDRESS 8736 Bayside Road, Chesapeake Beach MD, 20732
PRIOR DECISION BY BOARD OF APPEALS YES NO
IF YES, DECISION NO. _____ DATE _____

PROPERTY OWNER
NAME Collin Wannop PHONE 570-447-9422
ADDRESS 8736 Bayside Road
CITY Chesapeake Beach STATE MD ZIP 20732

AUTHORIZED AGENT
NAME _____ PHONE _____
ADDRESS _____
CITY _____ STATE _____ ZIP _____

VARIANCE
APPLICABLE SECTION OF ZONING ORDINANCE _____
DESCRIBE VARIANCE BEING REQUESTED 290-19
Proposed house addition will be within 5.2 feet of property line, requesting an exemption to the rule requiring a setback of 8 feet. Existing house is already 5.2 feet from property line and I wish to continue existing profile of house straight back.

SPECIAL EXCEPTION
APPLICABLE SECTION OF ZONING ORDINANCE _____
DESCRIBE SPECIAL EXCEPTION REQUEST _____

DECISION ON INTERPRETATION OR ALLEGED ERROR
APPLICABLE SECTION OF ZONING ORDINANCE _____
DESCRIBE DECISION OR ERROR _____

DESCRIBE CHANGE REQUESTED

PLEASE NOTE

In order for the Board of Appeals to consider this application, the following information must be provided to the Board either with this application or at the time the Board meets to hear this case.

VARIANCE – Reference Article VIII 290-32

Testimony or evidence that shows the requested variance:

- (1) Is in harmony with the general purpose and intent of this Ordinance, and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.
- (2) Will not permit the existence within a District of any use which is not permitted in that District
- (3) Is needed because there are special circumstances or conditions fully described in the findings, applying to the land or buildings for which the variance is sought, which circumstances or conditions are peculiar to such land or buildings and do not apply generally to land or buildings in the neighborhood and that said circumstances or conditions are such that strict interpretation of the provisions of this Ordinance would deprive the applicant of the reasonable use of such land or building.
- (4) Is needed because there exists unnecessary hardship. If the hardship is general that is shared generally by land or buildings in the neighborhood, relief shall be properly obtained only by legislative action or by court review of an attack on the validity of the Ordinance.
- (5) Is the minimum necessary for the reasonable use of the land or building and that the variance as granted by the Board is the minimum variance that will accomplish this purpose. It is not sufficient proof of hardship to show that greater profit would result if the variance were awarded. Furthermore, the hardship complained of cannot be self-created; it cannot be claimed by one who purchases with or without the knowledge of restrictions; it must result from the application of the Ordinance; it must be suffered directly by the property in question; and evidence of greater profitability and of variances granted under similar circumstances shall not be considered.

SPECIAL EXCEPTION

The applicant must provide to the Board information on how the Special Exception request is in accordance with the Town Comprehensive Plan, consistent with the purpose of the Zoning Ordinance, suitable for property including appropriate appearance and in character with neighborhood, suitable in terms of public safety and suitable in terms of traffic, congestion and hazards to the public.

DECISION ON INTERPRETATION OR ALLEGED ERROR – Article VIII 290-32




Provide copies of any applicable correspondence that would help the Board understand the purpose of this application.

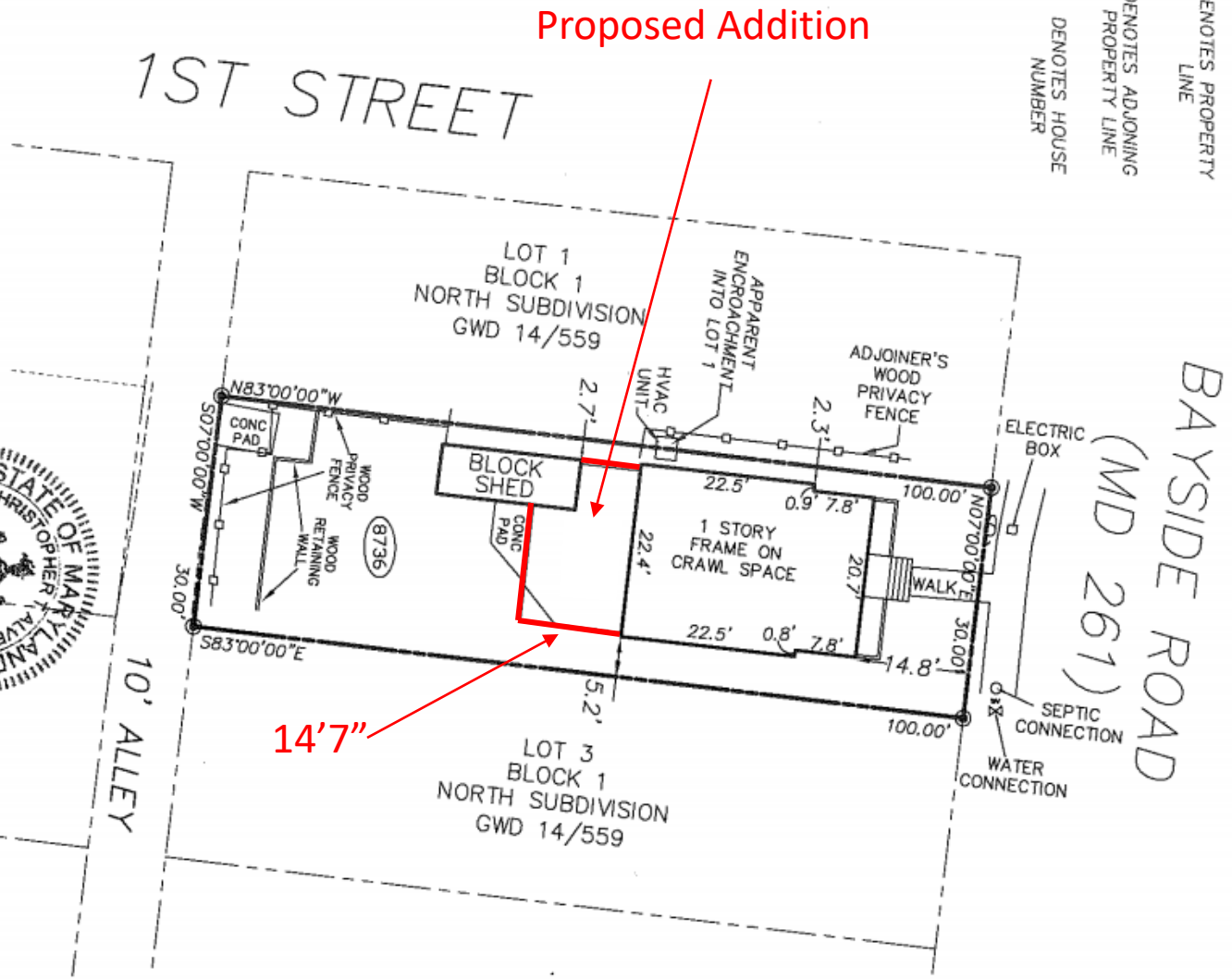
Date Submitted: 03/02/2021

By: Collin Wannop
Property Owner (Required)

By: _____
Authorized Agent
(If representing the property owner)

LEGEND

-  DENOTES PROPERTY LINE
-  DENOTES ADJOINING PROPERTY LINE
-  DENOTES HOUSE NUMBER



- NOTES:
1. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH MAY REVEAL ADDITIONAL CONSTRAINTS, EASEMENTS, RIGHTS-OF-WAY, OR BUILDING RESTRICTION LINES NOT SHOWN, NOR IS IT TO BE USED TO LOCATE PROPERTY LINES.
 2. LOT CORNERS HAVE NOT BEEN SET BY THIS SURVEY UNLESS OTHERWISE INDICATED.
 3. THE ACCURACY OF APPARENT SETBACK DISTANCES ARE WITHIN 2' +/-, POSSIBLE ENCROACHMENTS SHALL BE SHOWN IF VISIBLY OBSERVED TO EXIST AT THE TIME OF SURVEY.
 4. THE PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR RE-FINANCING.
 5. THE PLAT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS.
 6. THE PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.
 7. NOTES 4, 5 AND 6 ARE REQUIRED TO BE SHOWN AS PER THE STATE OF MARYLAND MINIMUM STANDARDS OF PRACTICE 08.13.06.060(9)

I HEREBY CERTIFY THAT THE LOCATION OF ALL THE EXISTING IMPROVEMENTS AS SHOWN ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN CAREFULLY ESTABLISHED BY A TAPE AND TRANSIT SURVEY. THIS SURVEY IS TO CERTIFY LOCATION OF THE HOUSE, DRIVEWAY AND ANY OTHER IMPROVEMENTS AS SHOWN ON THE PLAT, ONLY TO THE EXTENT AS REQUIRED BY THE STATE OF MARYLAND MINIMUM STANDARDS OF PRACTICE. THE PROPERTY IS LOCATED IN ZONE 'X' PER THE APPLICABLE FEMA FLOOD INSURANCE RATE MAP PANEL NO. 24099C 00836



DATE: 11-2-20
 CHRISTOPHER T. ALVEY
 PROF. LAND SURVEYOR, #21266
 License Exp. 6-20-21

DEED REFERENCE: 5234/357

LOCATION DRAWING
 LOT 2, BLK 1, NORTH SUBDIVISION
 8736 BAYSIDE RD
 CHESAPEAKE BEACH
 CALVERT COUNTY, MARYLAND
 3RD ELECTION DISTRICT

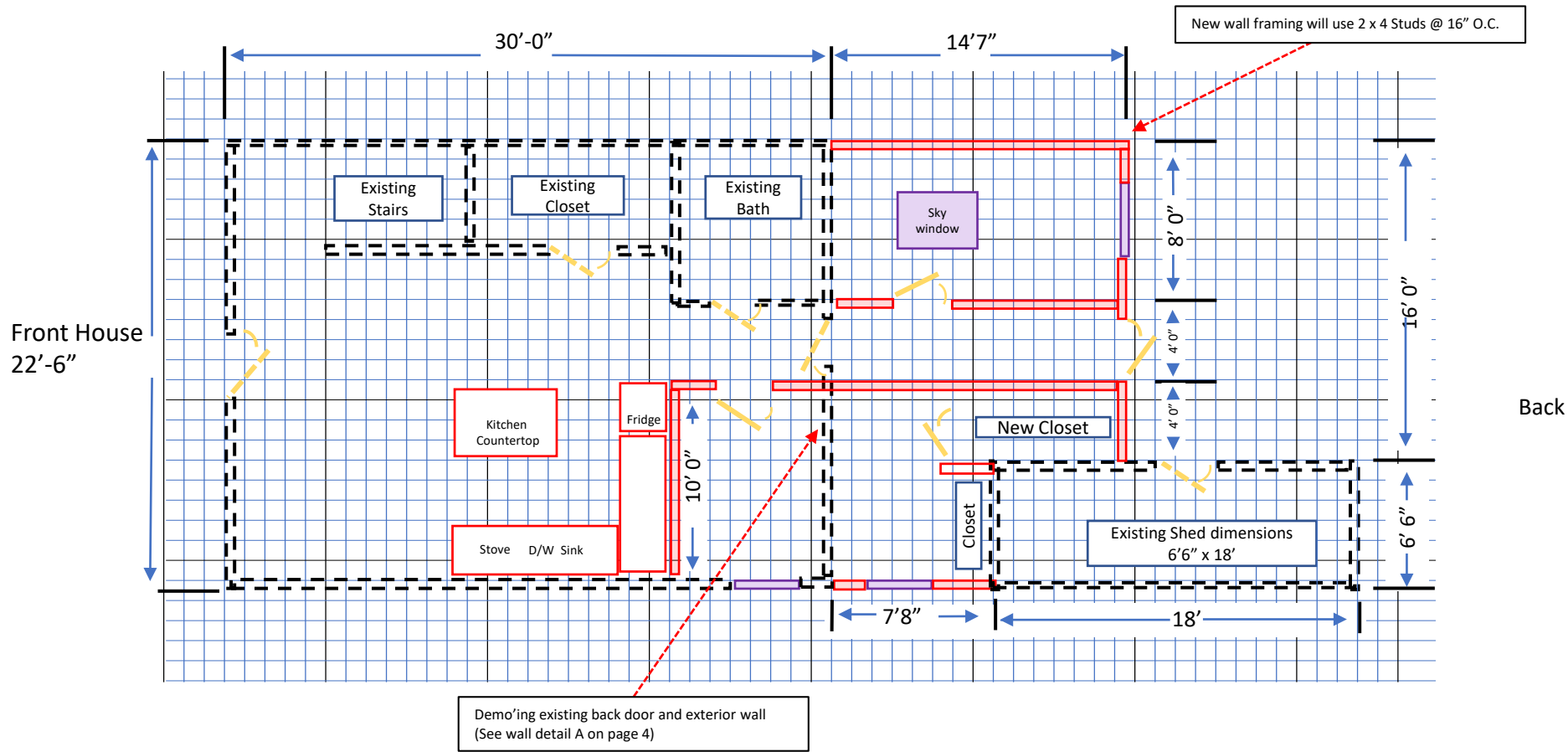
WILKERSON & ASSOCIATES INC.
 ENGINEERS & SURVEYORS
 Box 17 Dunkirk, Maryland
 (410)257-3332, (301)855-8272

DRAWN BY	RVI
SCALE	1" = 20'
DATE	OCTOBER, 2020
JOB NO.	20-21449
FILE	OC269
DWG	OC269

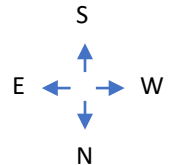
Collin & Nataly's Wannop's house at:
 8736 Bayside Road, Chesapeake Beach, MD 20732

Key: each square is equal to 12" x 12"

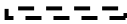

Existing Wall-  Existing door- 
 Proposed Wall-  Proposed window-  Proposed door- 

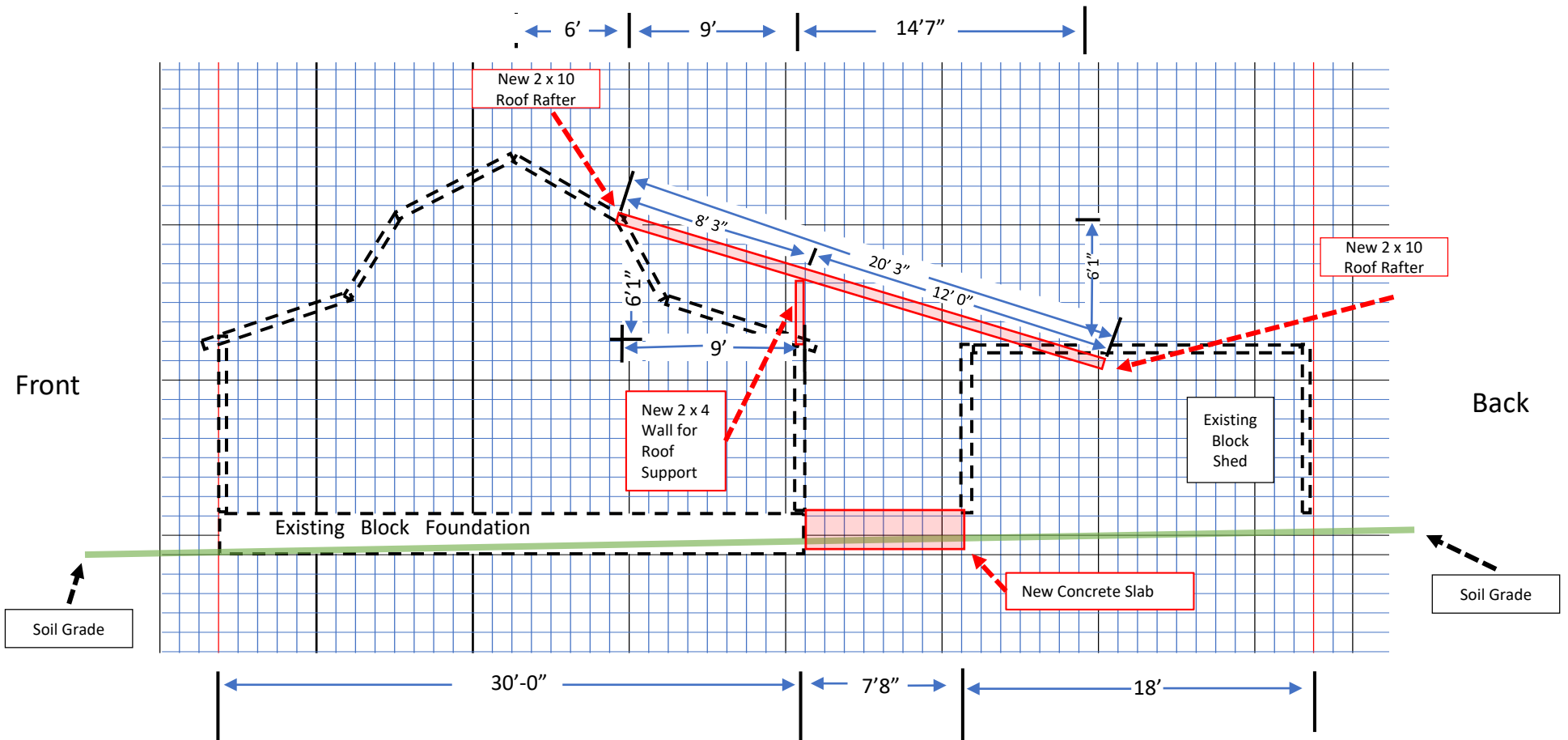


Page 1: Floor Plan





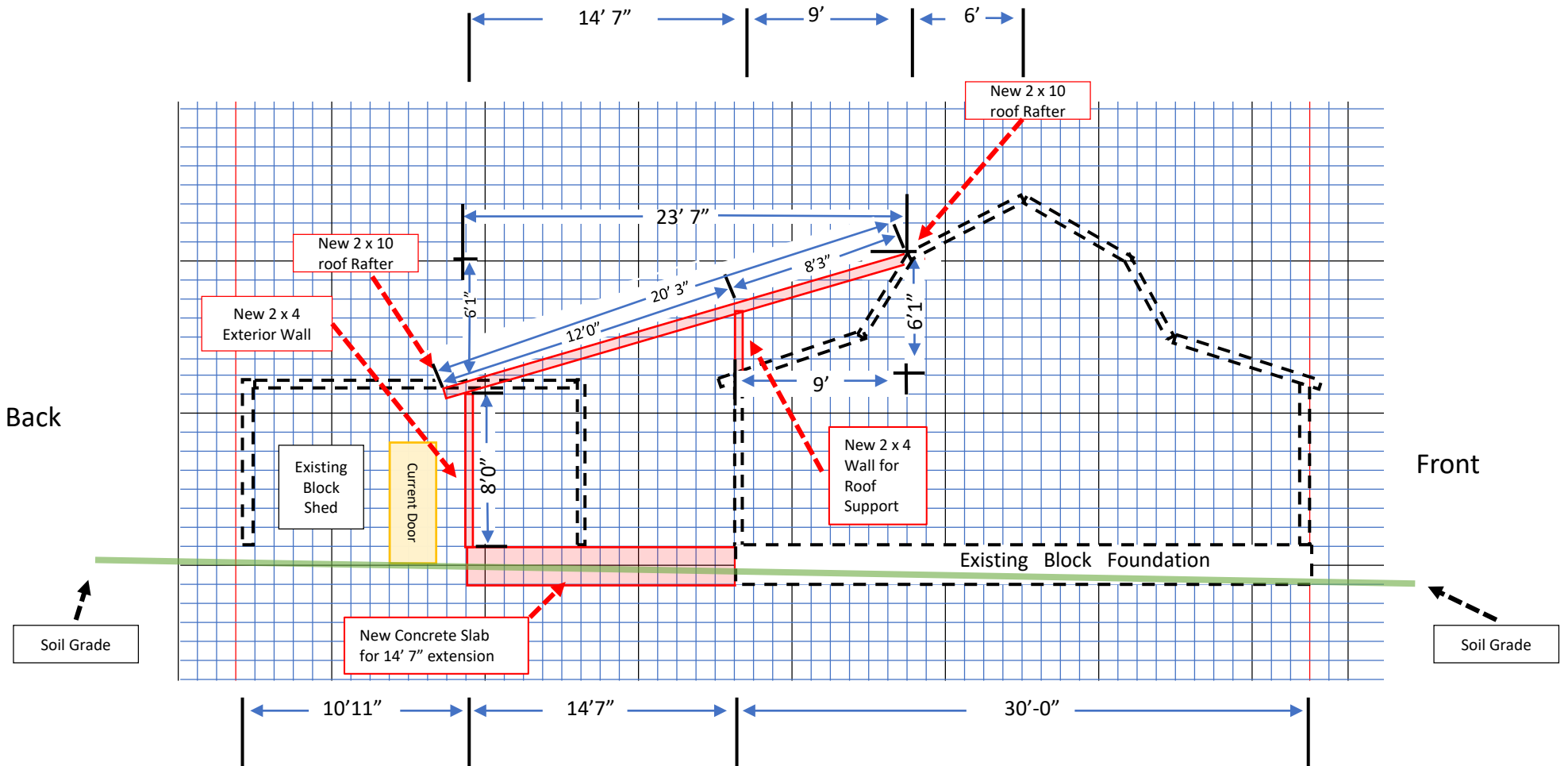
Key: each square is equal to 12" x 12"

Existing Wall/Roof- 
Proposed Wall/Roof- 





Key: each square is equal to 12" x 12"

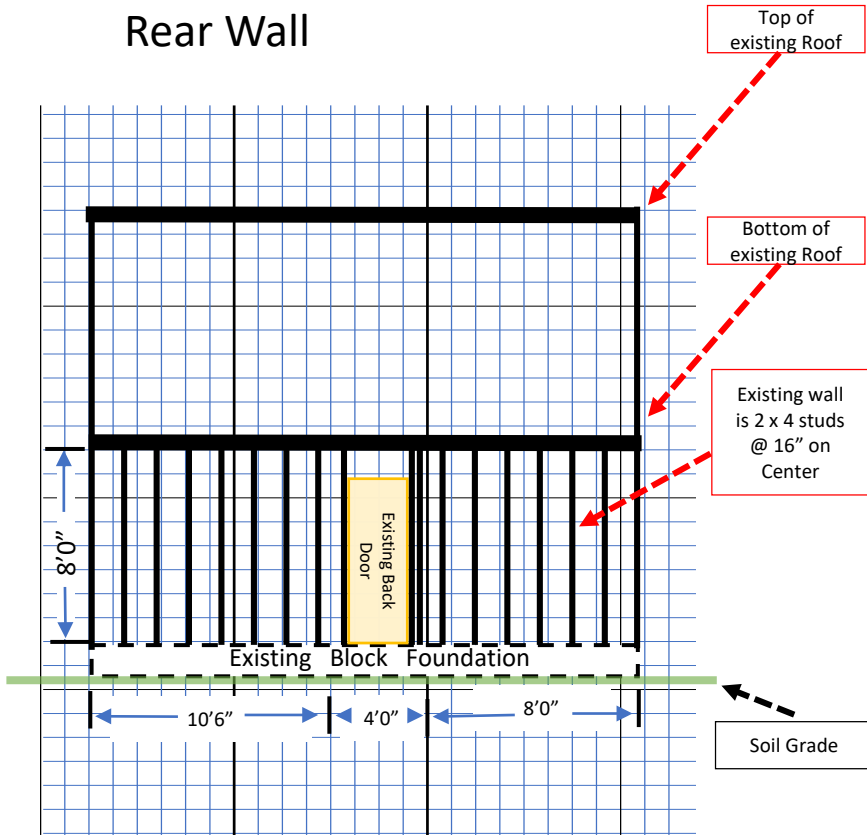
Existing Wall/Roof- 
Proposed Wall/Roof- 



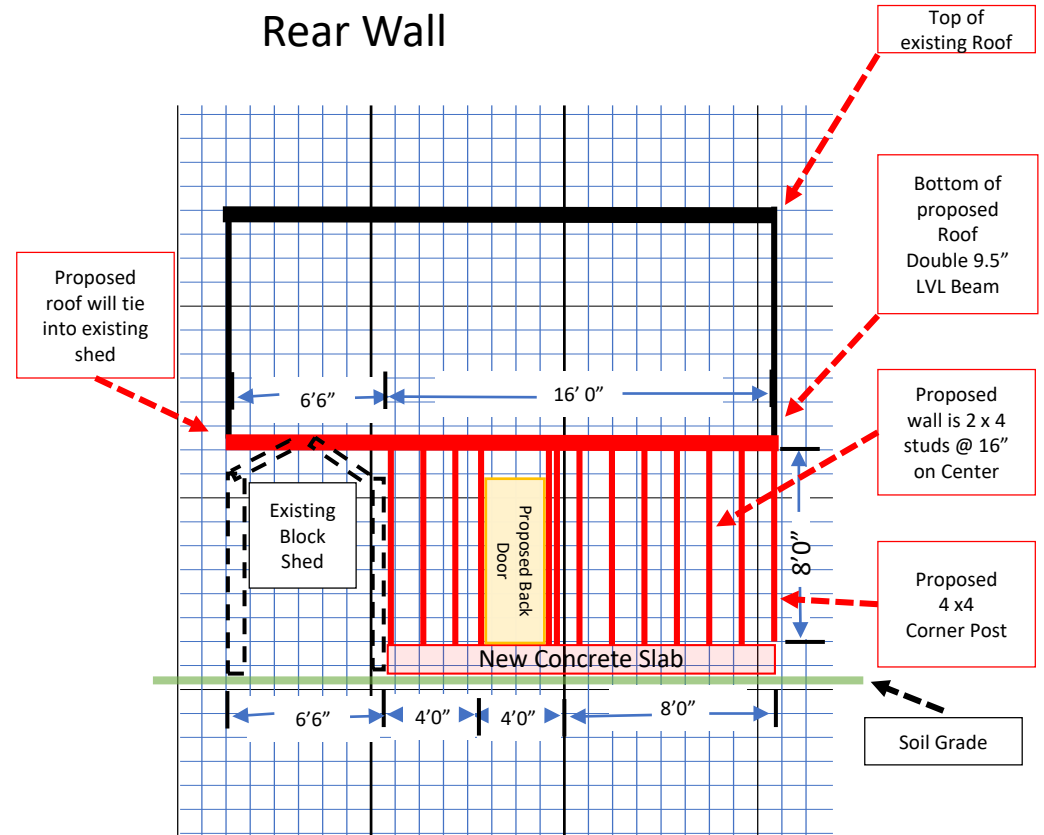
Key: each square is equal to 12" x 12"

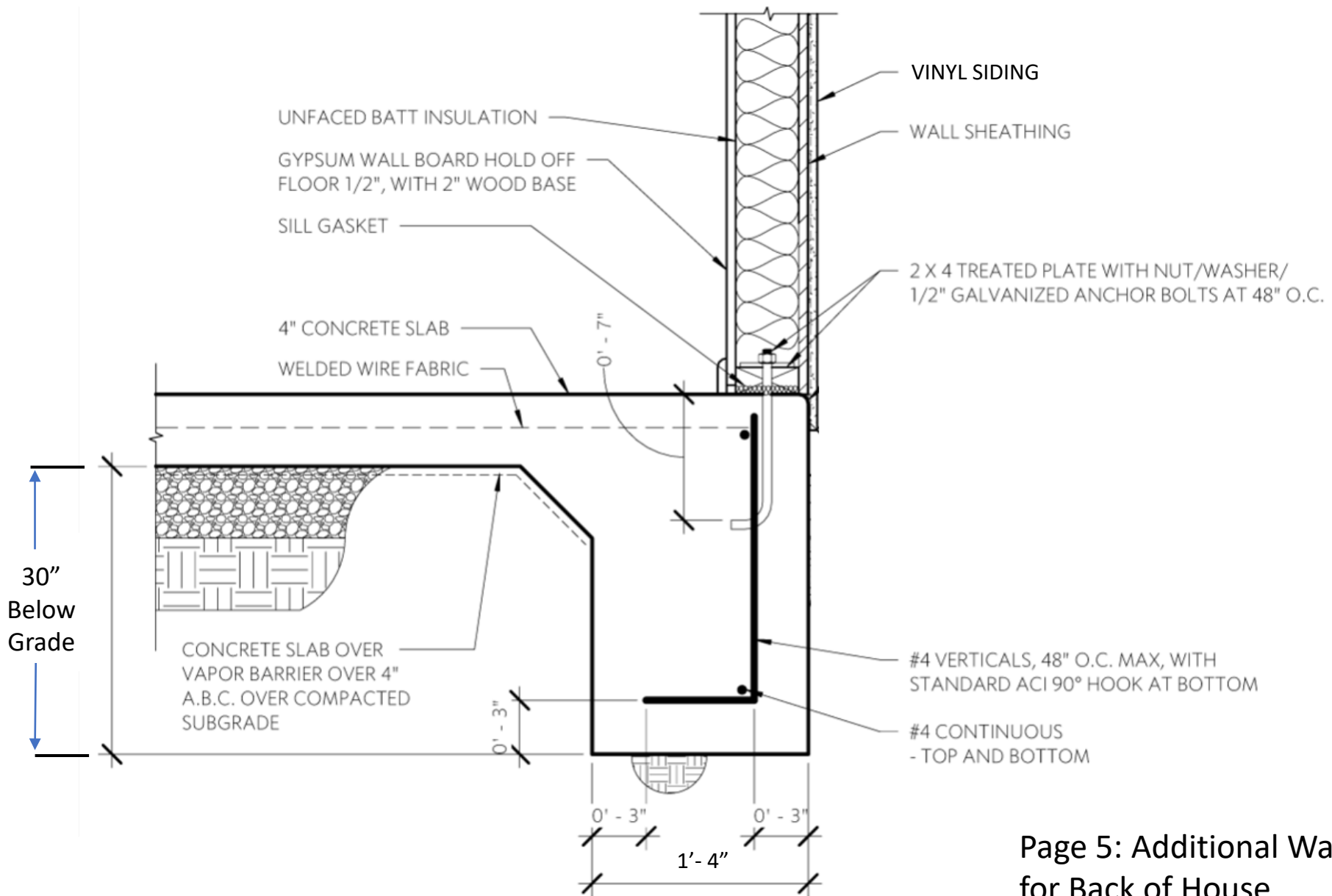
Existing Stud 
Proposed Wall/Roof- 

Existing Rear Wall



Proposed Rear Wall

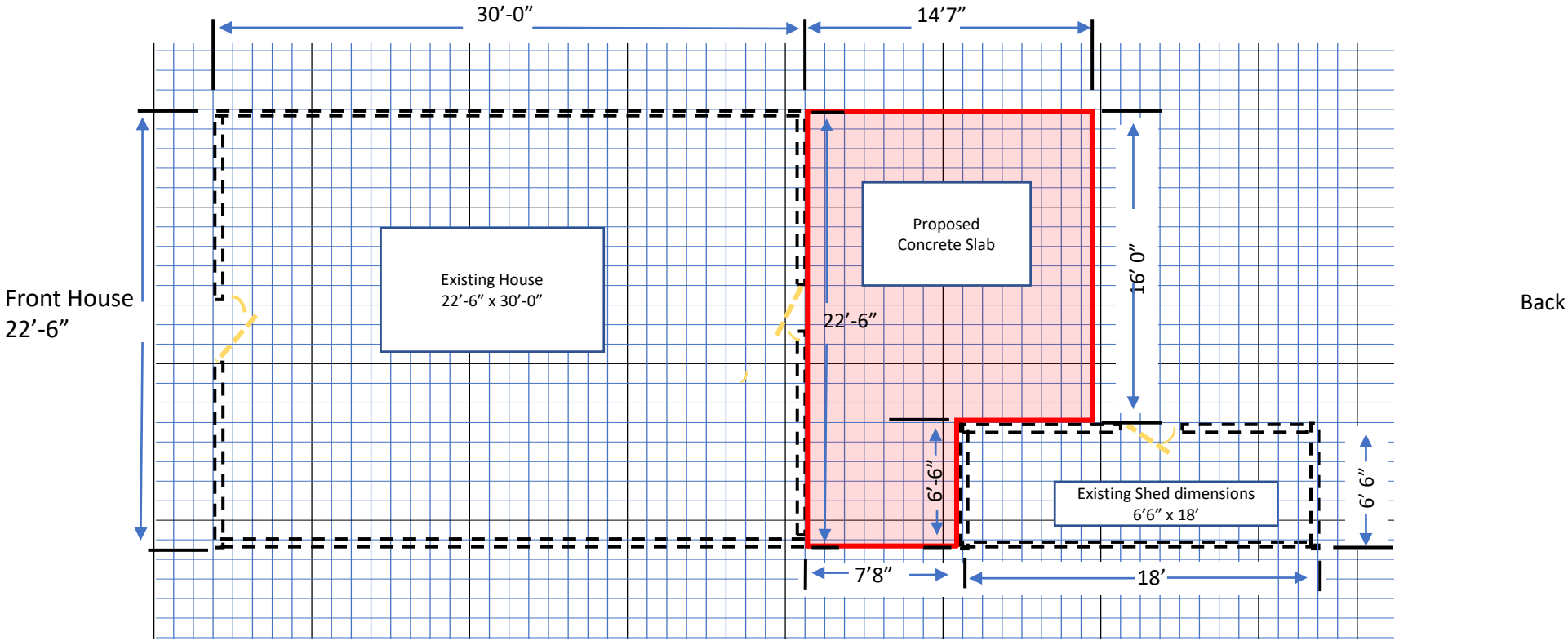




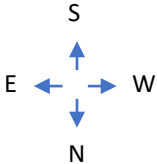
Page 5: Additional Wall Detail for Back of House (Looking East)

Key: each square is equal to 12" x 12"

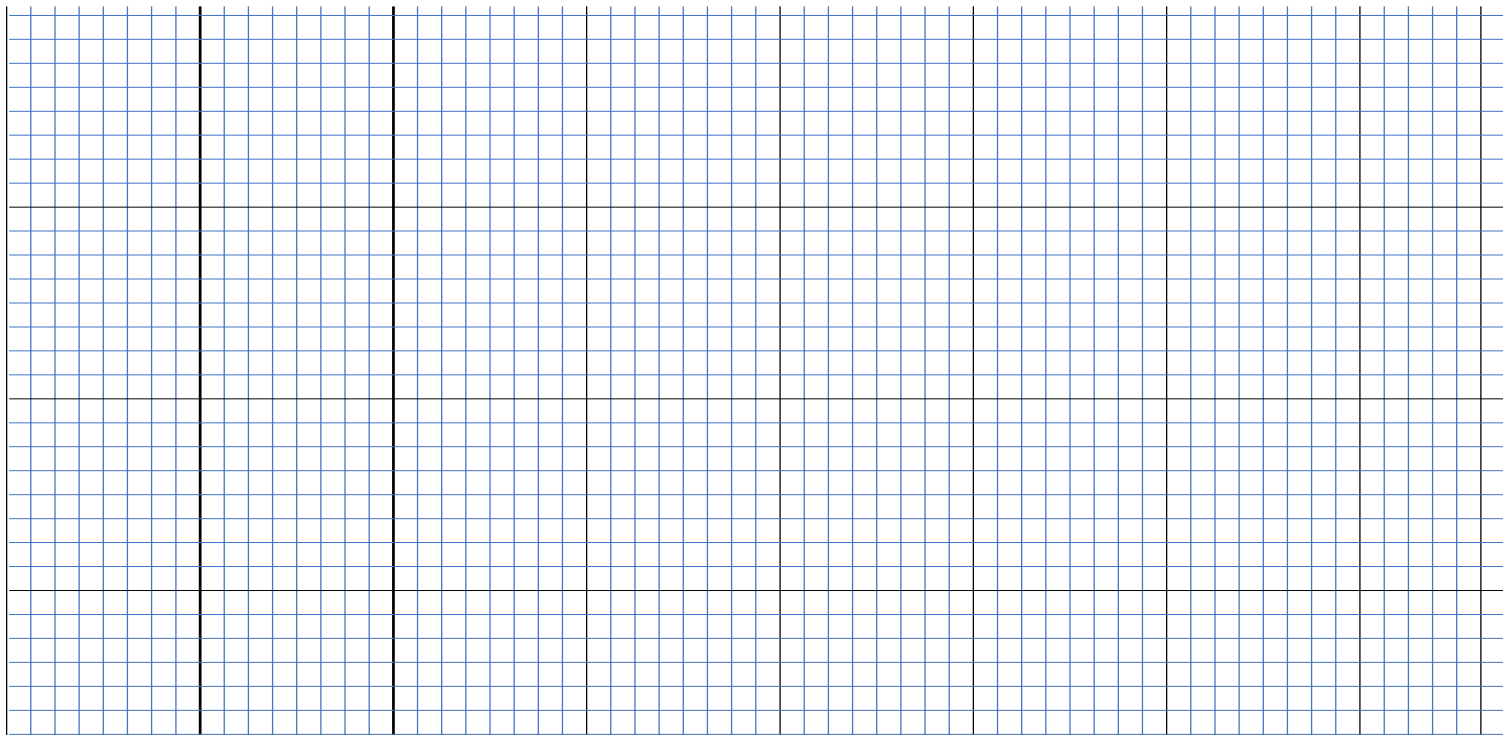
Existing Wall/Roof- 
Proposed Concrete Slab 



Page 6: Concrete Slab Detail



Grids Sheet





**APPLICATION
ZONING BOARD OF APPEALS
TOWN OF CHESAPEAKE BEACH**

- Decision on Interpretation or Alleged Error
- Special Exception
- Variance from Strict Application of Ordinance

PROPERTY INFORMATION TM ___ BLK ___ Parcel ___ Lot ___
TAX ID# _____ DEED REFERENCE: LIBER ___ FOLIO ___
STREET ADDRESS 3910 27th ST Chesapeake Beach, MD 20732
PRIOR DECISION BY BOARD OF APPEALS ___ YES ___ NO
IF YES, DECISION NO. _____ DATE _____

PROPERTY OWNER
NAME Ben & Sheri Martin PHONE (661) 618-8654
ADDRESS 3910 27th ST
CITY Chesapeake Beach STATE MD ZIP 20732-3336

AUTHORIZED AGENT
NAME _____ PHONE _____
ADDRESS _____
CITY _____ STATE _____ ZIP _____

VARIANCE
APPLICABLE SECTION OF ZONING ORDINANCE _____
DESCRIBE VARIANCE BEING REQUESTED Variance to add 2nd
Story as per plans

SPECIAL EXCEPTION
APPLICABLE SECTION OF ZONING ORDINANCE _____
DESCRIBE SPECIAL EXCEPTION REQUEST _____

DECISION ON INTERPRETATION OR ALLEGED ERROR
APPLICABLE SECTION OF ZONING ORDINANCE _____
DESCRIBE DECISION OR ERROR _____

DESCRIBE CHANGE REQUESTED Side yard variance

NOT APPROVED

The proposed construction is within the required 8 foot side yard. A variance from the side yard setback is required in order for a permit to be issued. Please Contact Sharon Humm, Secretary to the Board of Appeals 410- 257-2230

Christopher

Ch. Chubish



TOWN OF CHESAPEAKE BEACH ZONING PERMIT APPLICATION

Permit #:	_____
Issued:	_____
Fee Paid:	Yes <input type="radio"/> No <input checked="" type="radio"/>

PAID
CHK NO. 1100.00 (cc)
DATE 3-10-21

SEE ATTACHED FEE SCHEDULE

PROPERTY INFORMATION

Property Street Address: 3910 27th ST
 Property Tax ID#: _____
 Specific Use of Property: Residential

Water: Well Municipal Sewerage: Septic System Municipal

Is the above address within the floodplain? Yes No, In the Critical Area Yes No
 (If in Critical Area, please complete page 2 of this application)

Property Owner Information

Name: Bonny Martin
 Address: 3910 27th ST
 City, State, Zip: Chesapeake Beach MD
 Day phone: 661-618-8654 20732
 E-mail: BonnyRN1959@yahoo.com

Applicant Information

Name: Bonny Martin
 Address: 3910 27th ST
 City, State, Zip: Chesapeake Beach MD
 Day phone: 661-618-8654 20732
 E-mail: BonnyRN1959@yahoo.com

Description of Proposed Work: Please submit four (4) hard copies of the proposed site plan and one (1) electronic copy with this application and a Grading Exemption Form for any project that involves grading.

Renovation project to modify existing house floor plans to include a addition as to plan drawings. Add Electric to garage

Signature of Owner or Authorized Agent

By signing below, I certify and agree as follows: (1) I am authorized to make this application; (2) all information provided is correct; (3) I will comply with all regulations of the Town of Chesapeake Beach which are applicable hereto; (4) I will perform only the work specifically described in this application and my submitted site plan; (5) I grant Town officials the right to enter onto the property for the purpose of evaluating my plan, inspecting the work permitted and posting notices if applicable; (6) I understand that if I choose to appeal, my appeal shall be in writing stating the grounds for appeal and shall be filed with the Board of Zoning Appeals within 30 calendar days of the date of issuance, decision, determination or order and that the right to appeal is waived if not timely filed.

Owner or Authorized Agent: (print) Bonny Martin
 Signature: Bonny Martin Date: _____

FOR TOWN USE ONLY:

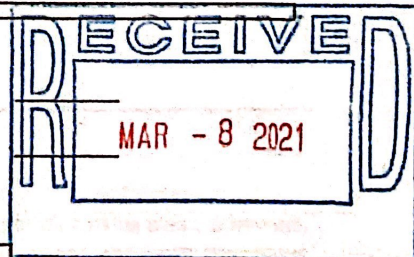
Reviewed by: _____

Final Approval: _____

Planning & Zoning Administrator

Date: _____

Date: _____



Is there a supplemental condition letter or notice to applicant: Yes No
 Is this a application for Use & Occupancy: Yes No
 Is there a requirement for Public Works to review prior to breaking ground: Yes No

If marked yes, the Public Works Administrator must provide approval prior to breaking ground:

Final Approval Public Works Administrator: _____ Date: _____

Critical Area Lot Coverage Worksheet with Zoning Permit

Completion of this form is required for all projects within the Critical Area. If mitigation of any form is required, it shall be noted and/or shown on the site plan. For mitigation in the form of vegetative planting, the site plan or a separate landscape plan must show the location for the proposed planting and include a table that shows the species of the plants and number of each species. Additional information may be required. This form shall accompany a site plan and other relevant plan that shows the proposed work.

Property Information

Property Address: 3910 27th ST
 Critical Area Designation: Circle one: IDA, IDA, RCA
 Within the 100-foot buffer? Yes, No

Total Site Area (square footage): 6,900
 Zoning District: _____

Lot Coverage Calculations

EXISTING CONDITIONS (square footage)	PROPOSED CONDITIONS (square footage)
1. Main Building <u>1202</u>	Main Building <u>1202</u>
2. Accessory Structures <u>576</u>	Accessory Structures <u>576</u>
3. Driveway/Parking <u>875</u>	Driveway/Parking <u>875</u>
4. Walkways <u>60</u>	Walkways <u>60</u>
5. Patios <u>620</u>	Patios <u>620</u>
6. Other _____	Other _____
Total Square footage <u>3,333</u>	Total Square footage <u>3,333</u>
Percentage of Total Site Area <u>0.483</u>	Percentage of Total Site Area <u>0.483</u>

Will trees be removed in the Critical Area?

Yes No

If yes, please indicate location and number on the site plan.

Certification

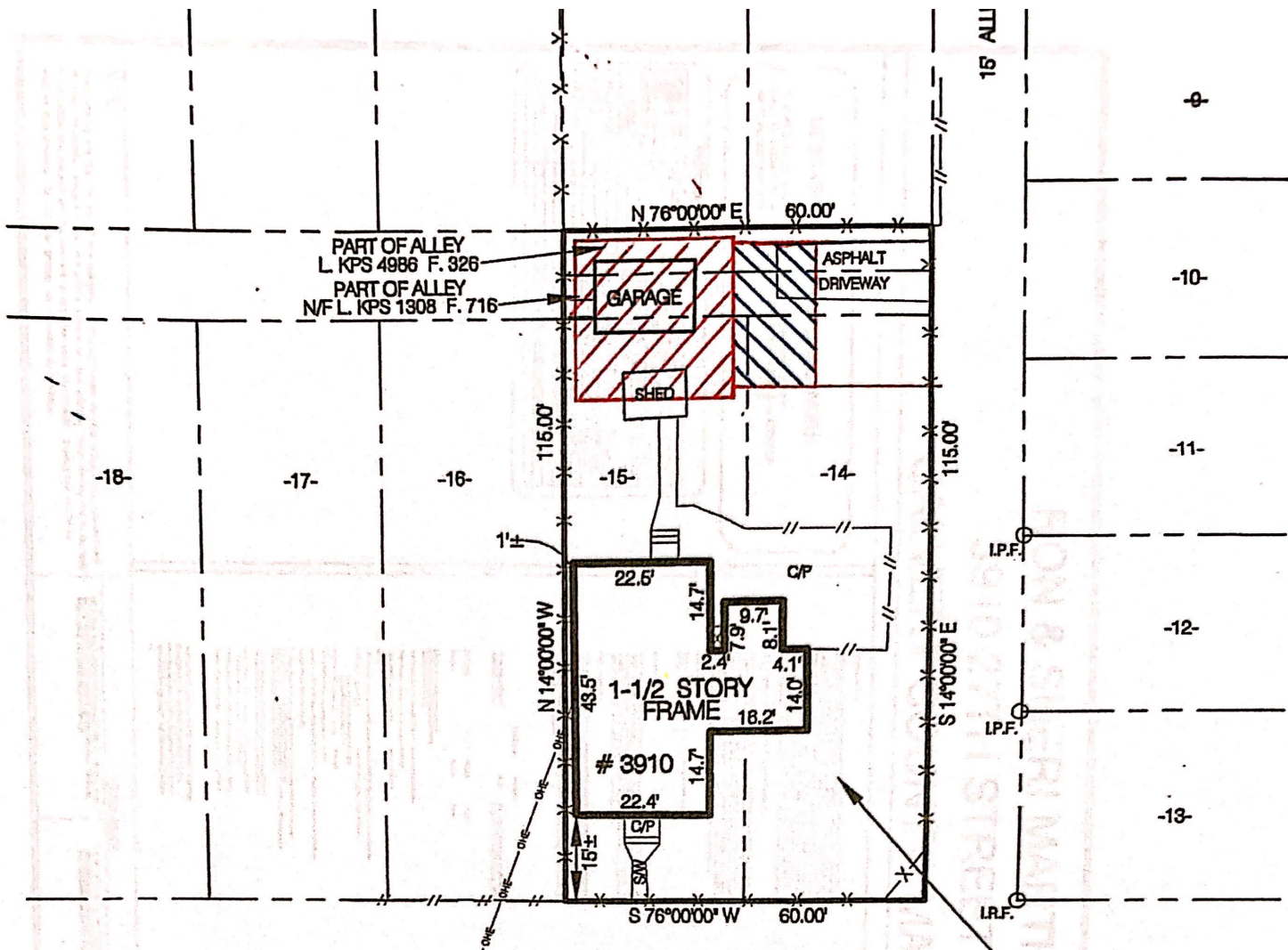
I certify these statements to be true and accurate and hereby grant the Town of Chesapeake Beach official permission to enter my property to review the plan and conduct inspections.

Owner / Authorized Agent: (print)
 Signature:

Bonny Martin
Bonny Martin

WHAT IS LOT COVERAGE? The following is counted toward lot coverage:

Area coverage by buildings and structures, accessory structures, (e.g. sheds, garages, swimming pools); parking areas, driveways, walkways, patios, or roads. Area covered by gravel, stone, shells, impermeable decking, pavers, or any man-made impervious material. Lot coverage does not include a fence or wall, less than one foot in width, a walkway in the Buffer or expanded buffer including a stairway that provides direct access to a pier, a wood mulch pathway, or a deck with gaps to allow water to pass freely.



27th STREET
(PLATTED: "C" STREET)
(50' R/W)

LOTS 14, 15 &
PART OF ALLEY
6,900 Sq. Ft.
(Computed / Assessed)

Level of Accuracy of
the Two Distance Ties
from House to the
Apparent Property Lines
on this Location Drawing: 2'±

LEGEND

- I.P.F. Iron Pipe Found
- I.R.F. Iron Rod Found
- C/P Concrete Pad
- Wooden Fence
- Chain Link Fence
- Overhead Wires
- OHE Utility Pole
- Light Post
- Utility Box
- Well
- Cleanout

Benjamin P. Roberts III
10-29-2019

Premises Address : # 3910 27th Street

License Expiration Date : February 8, 2020

RECORDED IN: LIBER KPS 4986 FOLIO 326 ; LIBER KPS 1308 FOLIO 716 ; PLAT BOOK AAH 7 @ 573

LOCATION DRAWING

LOTS 14, 15 & PART OF ALLEY BLOCK C
MIDDLE SUBDIVISION ~ CHESAPEAKE BEACH
CALVERT COUNTY, MARYLAND

Job No. CA-47-A-31

Scale: 1" = 30'

RDA

under CB3 Consulting Services, Inc. - LSC No. 21675

ENGINEERS • LAND PLANNERS • LAND SURVEYORS

14603 MAIN STREET
UPPER MARLBORO, MARYLAND 20772
PHONE (301) 627-3100 (301) 952-8200
copyright © 2019 by RDA

PERCE

RON & SHERI MARTIN

3910 27TH STREET

CALVERT COUNTY, MARYLAND

DESCRIPTION OF PROPOSED WORK

THIS PROJECT IS A RENOVATION PROJECT WHERE THE OWNER WANTS TO ADAPT THE EXIST HOUSE/POOR PLANS TO INCLUDE A ROOMTION AS TO PLANS DRAWING

DRAWING TYPE	DISCIPLINE NUMBER	SHEET NAME	DESCRIPTION
PLAN	1	101	EXISTING HOUSE PLAN
PLAN	2	102	EXISTING HOUSE PLAN
PLAN	3	103	EXISTING HOUSE PLAN
PLAN	4	104	EXISTING HOUSE PLAN
PLAN	5	105	EXISTING HOUSE PLAN
PLAN	6	106	EXISTING HOUSE PLAN
PLAN	7	107	EXISTING HOUSE PLAN
PLAN	8	108	EXISTING HOUSE PLAN
PLAN	9	109	EXISTING HOUSE PLAN
PLAN	10	110	EXISTING HOUSE PLAN
PLAN	11	111	EXISTING HOUSE PLAN
PLAN	12	112	EXISTING HOUSE PLAN
PLAN	13	113	EXISTING HOUSE PLAN
PLAN	14	114	EXISTING HOUSE PLAN
PLAN	15	115	EXISTING HOUSE PLAN
PLAN	16	116	EXISTING HOUSE PLAN
PLAN	17	117	EXISTING HOUSE PLAN
PLAN	18	118	EXISTING HOUSE PLAN
PLAN	19	119	EXISTING HOUSE PLAN
PLAN	20	120	EXISTING HOUSE PLAN

NOTE:
These drawings are the property of Ron & Sheri Martin. Drawings are issued for the project only and shall not be used for another project without the written consent of Ron & Sheri Martin. These drawings are not to be read in conjunction with project specifications and details from other consultants. Drawings are not to be used as shop drawings. Do not state details are accurate as specified.

DISCLAIMER
The undersigned hereby certifies that the drawings were prepared by the undersigned or under the direct supervision and control of the undersigned and that the undersigned is a duly licensed professional engineer under the laws of the State of Maryland. The undersigned is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by other consultants. The undersigned is not responsible for the accuracy of the information provided by other consultants. The undersigned is not responsible for the accuracy of the information provided by other consultants.

PROFESSIONAL ENGINEER

RON & SHERI MARTIN

3910 27TH STREET
CALVERT COUNTY, MARYLAND
681 618 8655/64

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. Expiration Date: _____

PROFESSIONAL SEAL:

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED: _____
DATE: _____
BY: _____

SCALE: _____

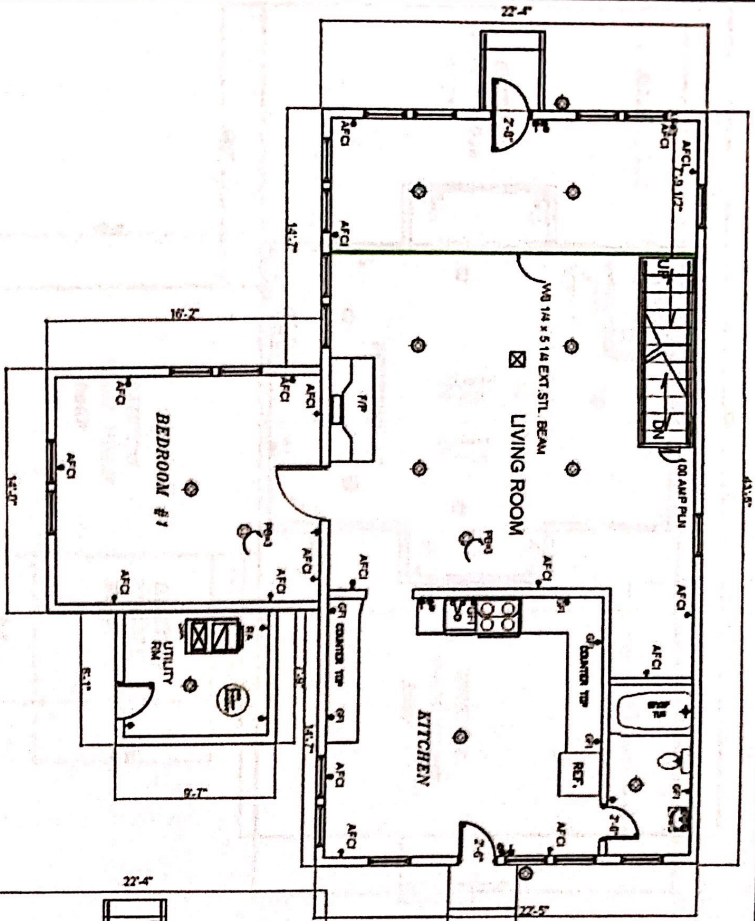
SHEET TITLE: _____

SHEET NO.: CIV-001

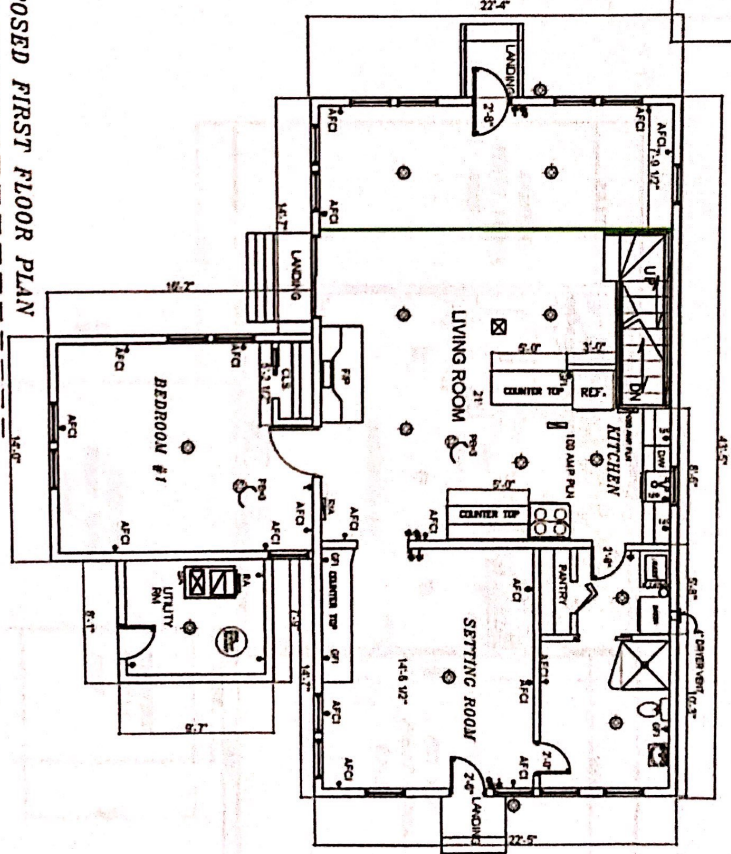
First OUR

CONSTRUCTION, LLC
3000 Bay Road, NE
Marietta, GA 30067
Phone: 770 272-2222
Email: info@firstour.com

Professional Engineer
Ron & Sheri Martin, LLC
3910 27th Street
Calvert County, Maryland
681 618 8655/64



EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



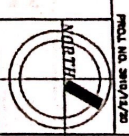
PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTE:
These drawings are the property of Sam Balder. Drawings are issued for this project only and shall not be used for another project without the written consent of Sam Balder. These drawings are to be read in conjunction with project specifications and drawings from other consultants. Drawings are not to be used as they are. Do not scale drawings. Use dimensions as specified.

DISCLAIMER:
THE OWNER SHALL VERIFY ALL REQUIREMENTS FOR ALL PROJECTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY THE OWNER OR ANY OTHER PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY THE OWNER OR ANY OTHER PARTY.

Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 26225; Expiration Date: 06-22-2021

Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 26225; Expiration Date: 06-22-2021



SHEET TITLE:
SHEET NO:
A-001



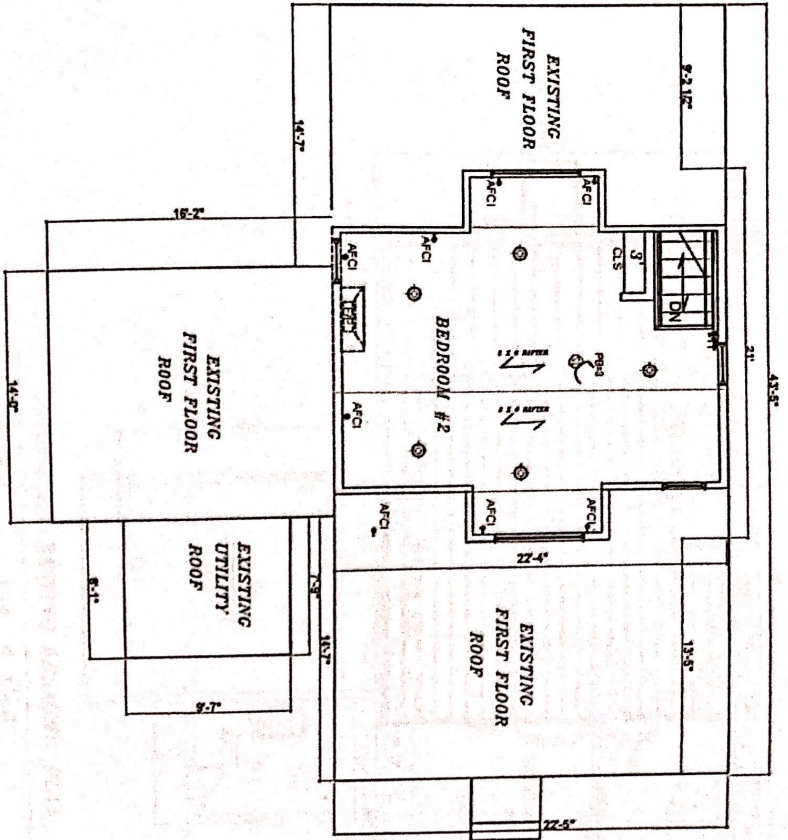
REVISIONS:

NO.	DATE	DESCRIPTION
1	December 8, 2020	ISSUED

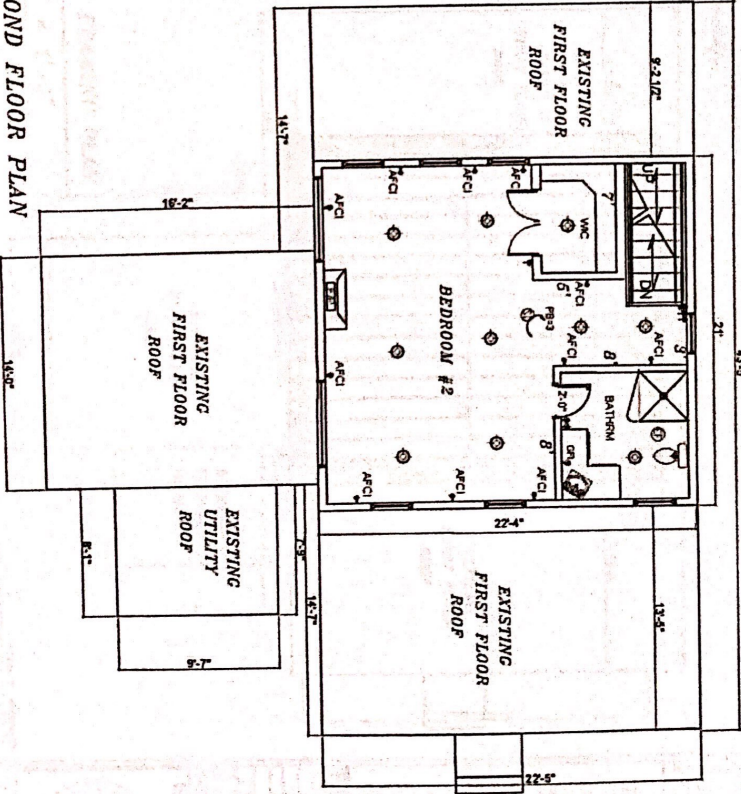
RON & SHERI MARTIN
3910 27TH STREET
CALVERT COUNTY, MARYLAND
661 618 8655/54

FIRST FOUR
CONSTRUCTION, LLC
3100 BERRY ROAD, NE
PHOENIX, AZ 85018
Phone: 301.792.2271
Email: info@firstfour.com

NOT FOR CONSTRUCTION
THIS DRAWING IS THE PROPERTY OF FIRST FOUR CONSTRUCTION, LLC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM FIRST FOUR CONSTRUCTION, LLC.



EXISTING SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



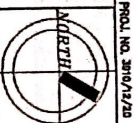
PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTE:
These drawings are the property of Barn Builders. Drawing are issued for this project only and shall not be used for another project without the written consent of Barn Builders. These drawings are to be read in conjunction with project specifications and drawings from other consultants. Drawings are not to be used as shop drawings. Do not scale drawings, use dimensions as specified.

DISCLAIMER:
THE CLIENT SHALL ASSUME RESPONSIBILITY FOR ALL PROJECT THAT MAY BE REQUIRED AT THE CLIENT'S OWN RISK AND LIABILITY. ARCHITECT, ENGINEER, AND OTHER CONSULTANTS SHALL NOT BE RESPONSIBLE FOR ANY SUCH DAMAGES.

DISCLAIMER:
CONTRACTOR SHALL NOT PROJECT AND NOT BE RESPONSIBLE FOR ANY DAMAGES INCLUDING INDEMNITY, AND ALL THE OTHER OBLIGATIONS AND LIABILITIES OF THE CONTRACTOR UNDER THE CONTRACT DOCUMENTS.

Professional Certification: I hereby certify that these documents were prepared or approved by me and that I a duly licensed professional engineer under the laws of the State of Maryland. License No.: 26226, Expiration Date: 06-22-221



PROJ. NO. 2010/12/22

SHEET TITLE:
EXISTING / PROPOSED FLOOR PLANS

SHEET NO.:
A-002



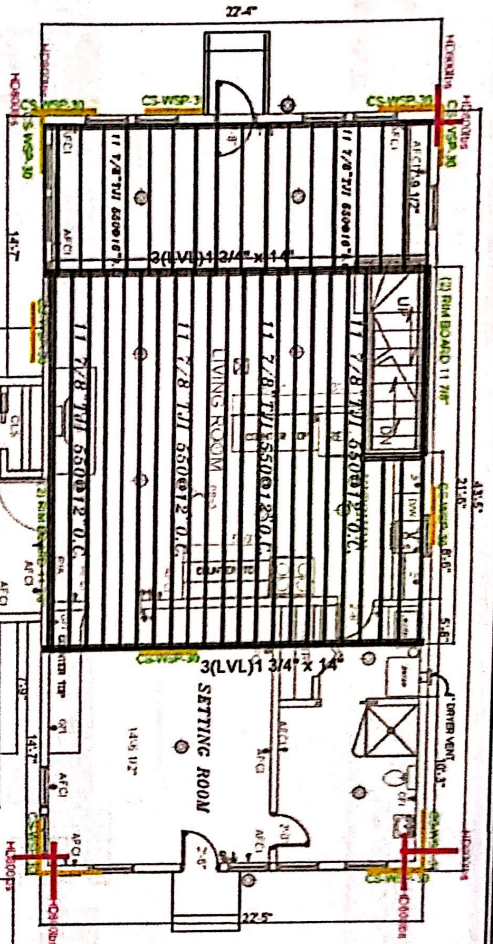
NO.	DATE	DESCRIPTION

ISSUED
DATE: DECEMBER 8, 2020
SCALE: AS SHOWN
DRAWN BY: SA

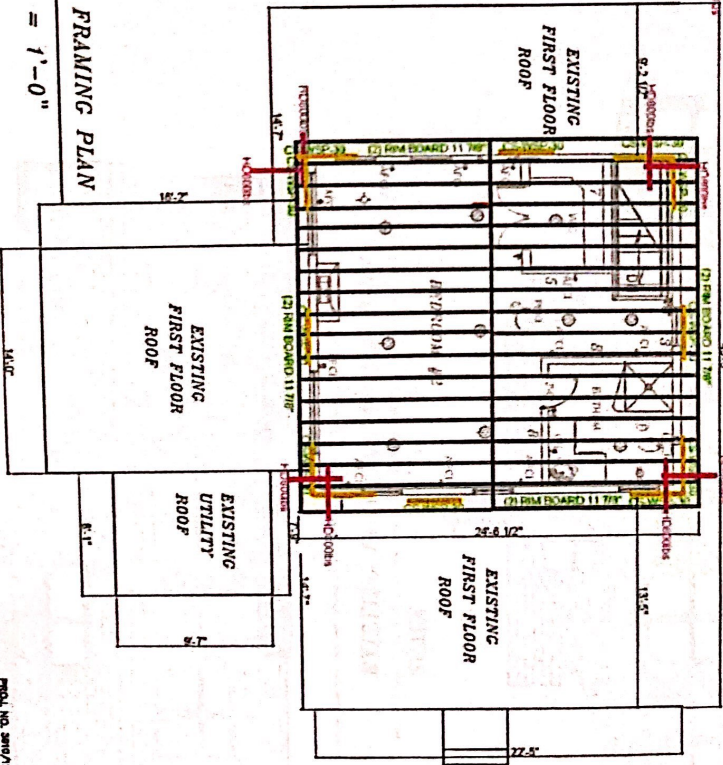
RON & SHERI MARTIN
3910 27TH STREET
CALVERT COUNTY, MARYLAND
661 618 8655/54

FIRST OUR
CONSTRUCTION, LLC
3108 Berry Road, NE
Phone: 301.793.2211
Email: chief@firstour.com

THE DRAWING AND DESIGN CONTAINED HEREIN ARE THE PROPERTY OF FIRST OUR CONSTRUCTION, LLC. NO REPRODUCTION OR USE IN WHOLE OR IN PART IS STRICTLY FORBIDDEN WITHOUT PERMISSION.



PROPOSED SECOND FRAMING PLAN
SCALE 1/4" = 1'-0"



PROPOSED ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"

NOTE:
These drawings are the property of Ron & Sheri Martin. Drawings are issued for this project only and shall not be used for another project without the written consent of Ron & Sheri Martin. These drawings are to be read in conjunction with project specifications and drawings from other consultants. Drawings are not to be used as shop drawings. Do not scale drawings, use dimensions as specified.

DISCLAIMER:
CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

DISCLAIMER:
CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 26225, Expiration Date: 06-22-2021



PROJ. NO. 2017/12/20

SHEET TITLE:
DRAWING NO. 1
DATE: 12/20/17

SHEET NO. 1
A-003

ISSUED
DATE: 12/20/17

REVISIONS:
NO. DATE DESCRIPTION

ISSUED
DATE: 12/20/17

REVISIONS:
NO. DATE DESCRIPTION

ISSUED
DATE: 12/20/17

REVISIONS:
NO. DATE DESCRIPTION

ISSUED
DATE: 12/20/17

REVISIONS:
NO. DATE DESCRIPTION

ISSUED
DATE: 12/20/17

REVISIONS:
NO. DATE DESCRIPTION

ISSUED
DATE: 12/20/17

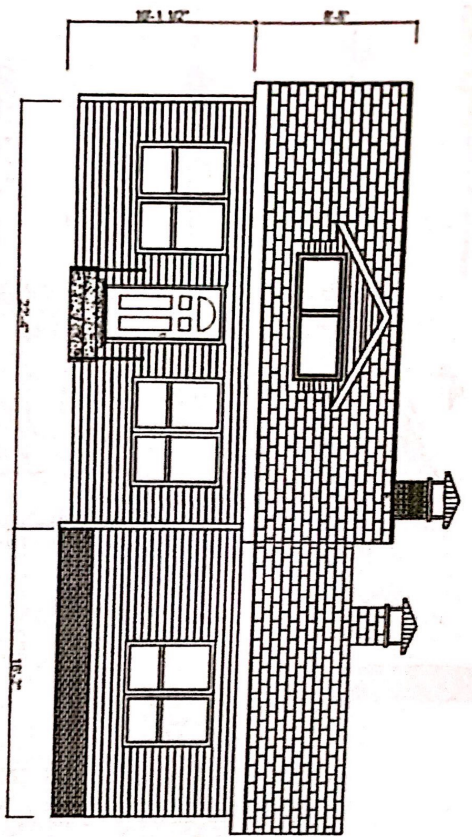
REVISIONS:
NO. DATE DESCRIPTION

ISSUED
DATE: 12/20/17

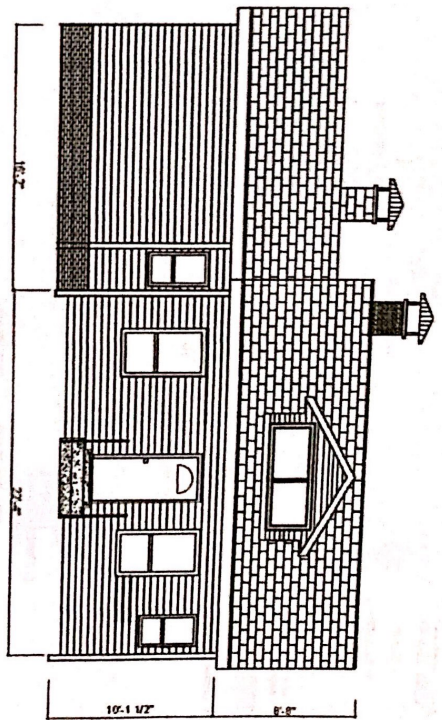
REVISIONS:
NO. DATE DESCRIPTION

RON & SHERI MARTIN
3910 27TH STREET
CALVERT COUNTY, MARYLAND
661 618 8655/54

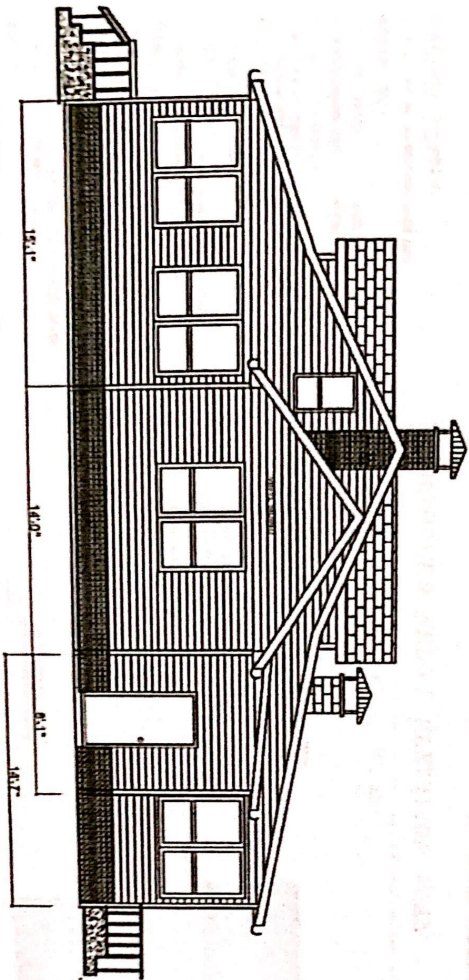
FIRST OUR
CONSTRUCTION, LLC
3108 Berry Road, NE
Fayette, GA 30217
Phone: 301 750 2211
Email: info@firstour.com



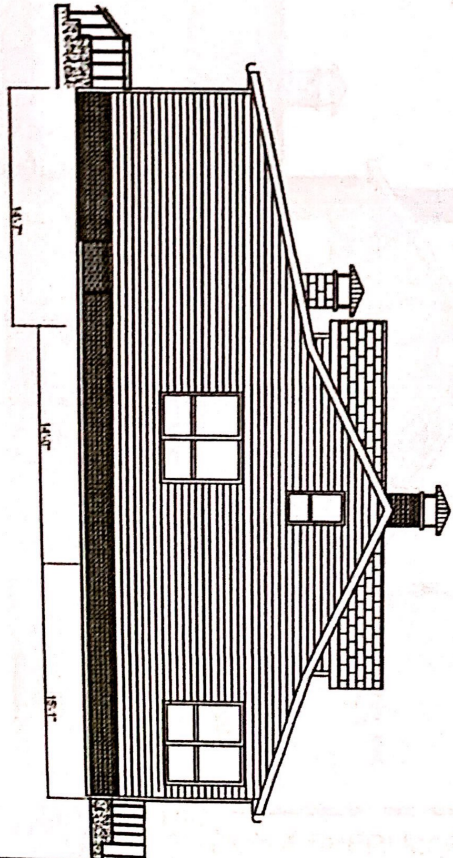
EXISTING FRONT ELEVATION PLAN
SCALE 1/4" = 1'-0"



EXISTING REAR ELEVATION PLAN
SCALE 1/4" = 1'-0"



EXISTING RIGHT ELEVATION PLAN
SCALE 1/4" = 1'-0"



EXISTING LEFT ELEVATION PLAN
SCALE 1/4" = 1'-0"

NOTE:
These drawings are the property of Dawn Builders. Drawings are issued for this project only and shall not be used for another project without the written consent of Dawn Builders. These drawings are to be read in conjunction with project specifications and drawings from other consultants. Drawings are not to be used as shop drawings. All not scale drawings, use dimensions as specified.

DISCLAIMER
THESE DRAWINGS ARE THE PROPERTY OF DAWN BUILDERS. THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH PROJECT SPECIFICATIONS AND DRAWINGS FROM OTHER CONSULTANTS. DRAWINGS ARE NOT TO BE USED AS SHOP DRAWINGS. USE DIMENSIONS AS SPECIFIED.

DISCLAIMER
CONTRACTING SHALL NOT EXCEED AND BE FOR THE USE OF ALL PURPOSES AND SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF DAWN BUILDERS. THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH PROJECT SPECIFICATIONS AND DRAWINGS FROM OTHER CONSULTANTS. DRAWINGS ARE NOT TO BE USED AS SHOP DRAWINGS. USE DIMENSIONS AS SPECIFIED.

Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 26223, Expiration Date: 06-22-2021



ROLL NO. 3906/12/20

SHEET TITLE:
EXISTING ELEVATION PLAN
SHEET NO:
A-004

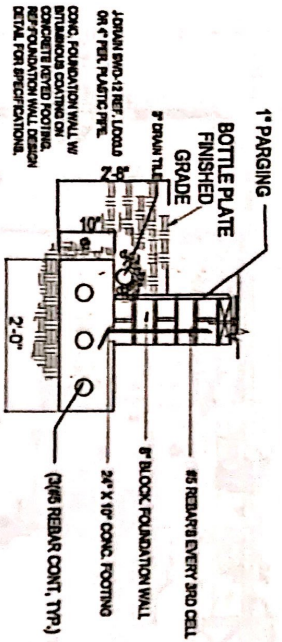


ISSUED	DATE: DECEMBER 8, 2020
SCALE: AS SHOWN	
SEAL:	DATE: 1/4
REVISIONS:	NO. DATE BY

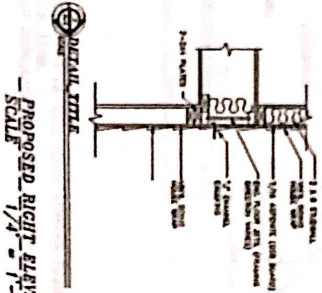
RON & SHERI MARTIN
3910 27TH STREET
CALVERT COUNTY, MARYLAND
661 618 8655/54

THE DRAWING AND SEAL CONTAINED HEREIN ARE THE PROPERTY OF FIRST OUR CONSTRUCTION, LLC. ANY REPRODUCTION OR USE IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT PERMISSION.

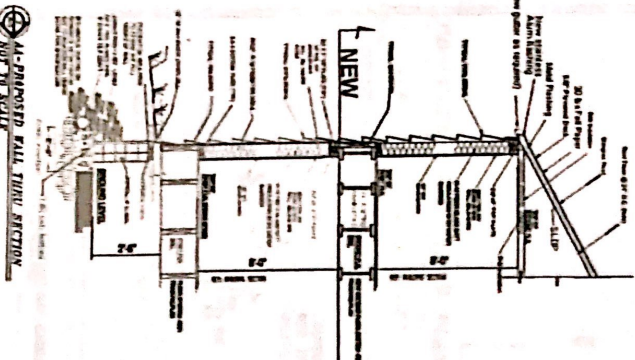
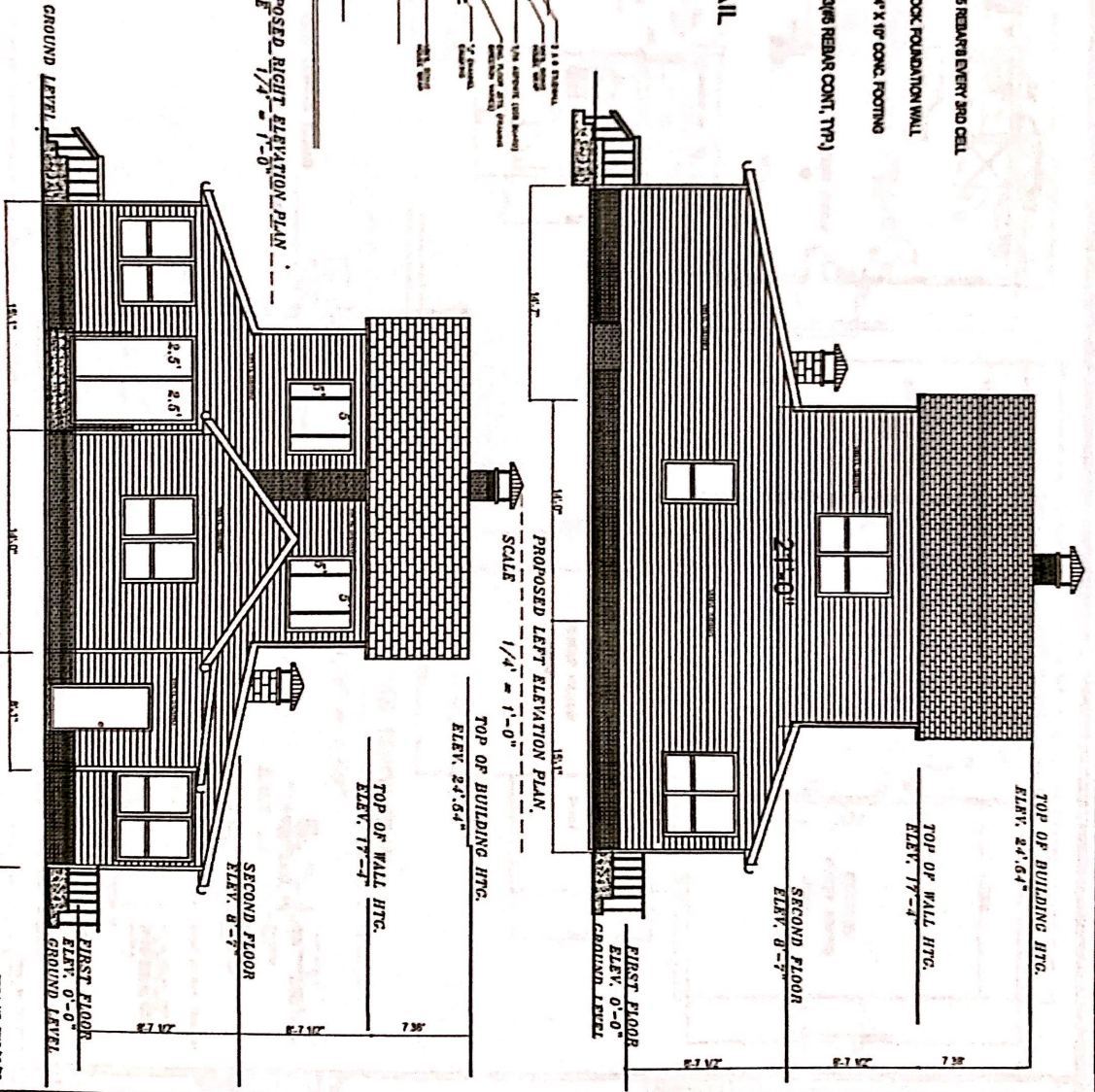
FIRST OUR
CONSTRUCTION, LLC
3108 Berry Road, #6
P.O. Box 201792, 2211
Arling, VA 22117
Email: cmartin@firstour.com



EXT. CONC. FOOTING / WALL DETAIL
NOT TO SCALE



PROPOSED RIGHT ELEVATION PLAN
SCALE 1/4" = 1'-0"



NEW
NOT TO SCALE

NOTICE: These drawings are the property of Ron & Sheri Martin. Drawing not to be used for any other project without the written consent of Ron & Sheri Martin. These drawings are to be read in conjunction with project specifications and drawings from other consultants. Drawing are not to be used as shop drawings. Do not scale drawings, use dimensions as specified.

DISCLAIMER: CONSULTING SHALL BE IN NO MANNER AND THIS DRAWING SHALL BE THE PROPERTY OF THE CLIENT. ALL DIMENSIONS SHOWN ARE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN ARE UNLESS OTHERWISE NOTED.

Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20223, Expiration Date: 06-22-2021



SHEET TITLE:
SHEET NO: A-006

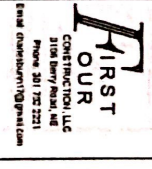


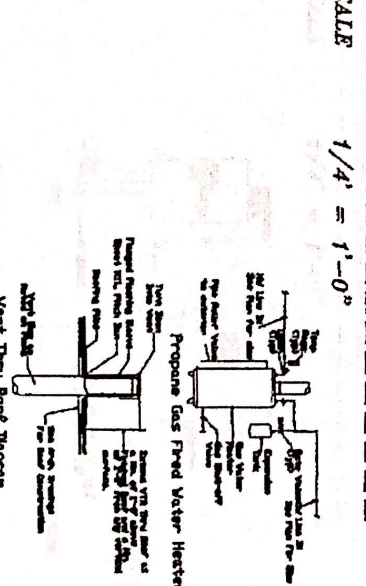
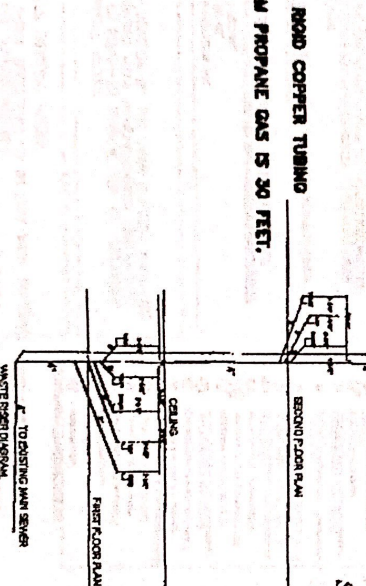
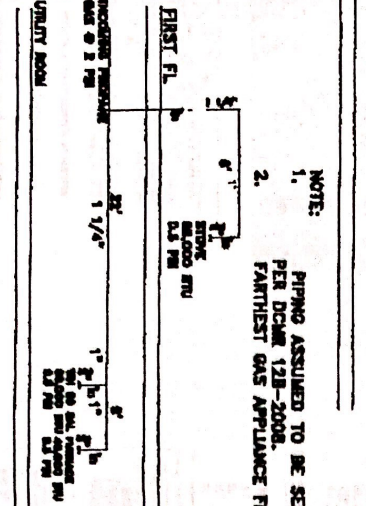
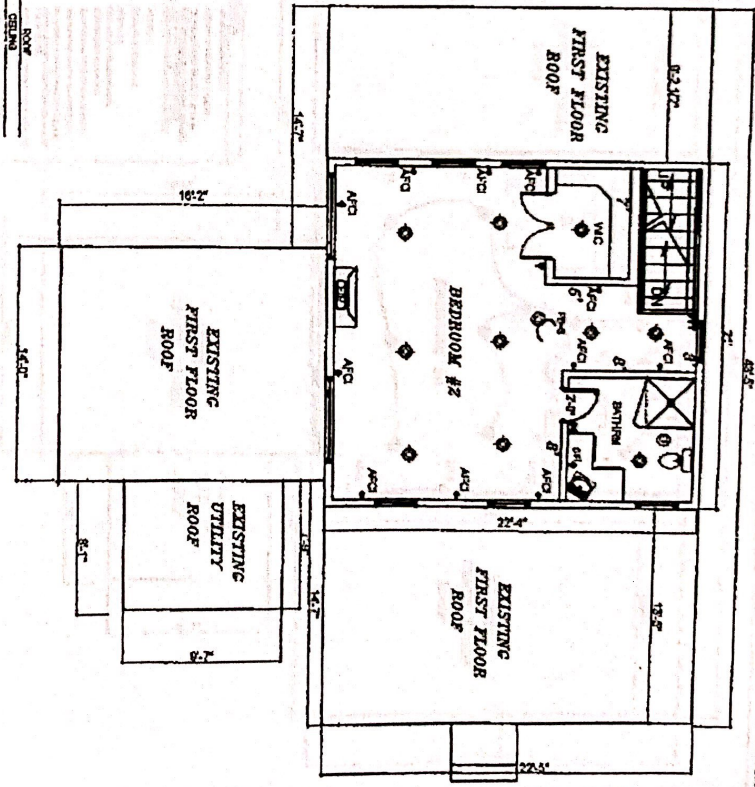
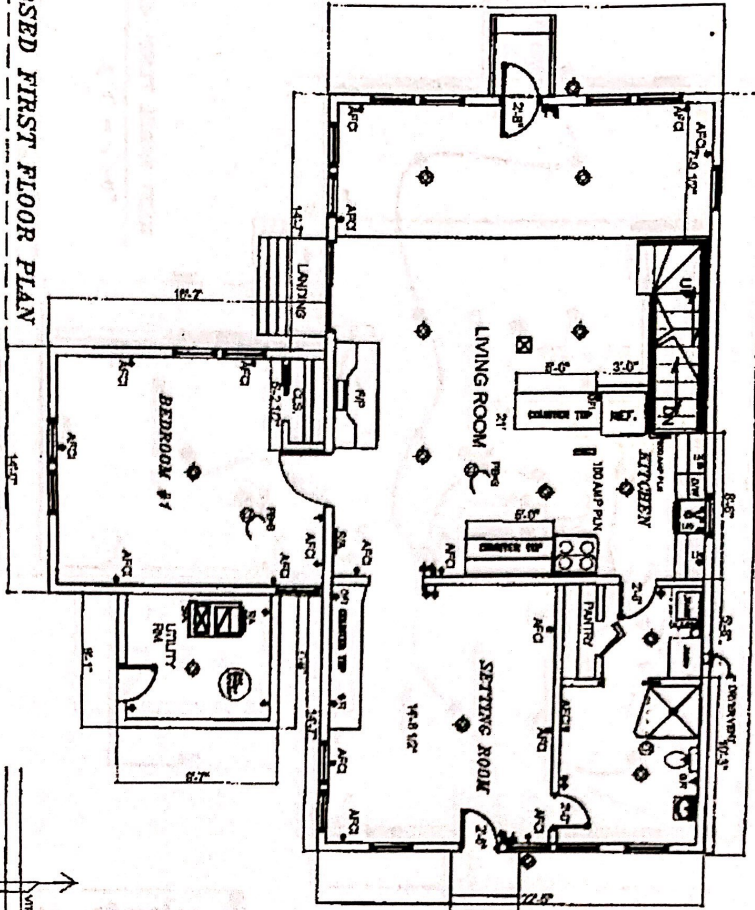
ISSUED
DATE: DECEMBER 8, 2020
SCALE: AS SHOWN
DRAWN BY: SM

REVISIONS:
DATE: 12/8/20
BY: SM

RON & SHERI MARTIN
3910 27TH STREET
CALVERT COUNTY, MARYLAND
661 618 8655/54

THIS DRAWING AND SEALS CONTAINED HEREIN ARE THE PROPERTY OF FIRST FOUR CONSTRUCTION, LLC. THEIR REPRODUCTION OR USE IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION IS PROHIBITED.





NOTE:
These drawings are the property of Ron & Sheri Martin. They are issued for this project only and shall not be used for another project without the written consent of Ron & Sheri Martin. These drawings are to be read in conjunction with project specifications and drawings from other consultants. Drawings are not to be used as shop drawings. Do not scale drawings, use dimensions as specified.

DISCLAIMER:
Professional Seal, Not a Seal. This drawing is not a seal and does not constitute a seal. The seal of the professional engineer is required for the use of this drawing as a seal.

Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No.: , Expiration Date: .

SEAL:
DATE: 4/18/2018
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

REVISIONS:

NO.	DATE	DESCRIPTION

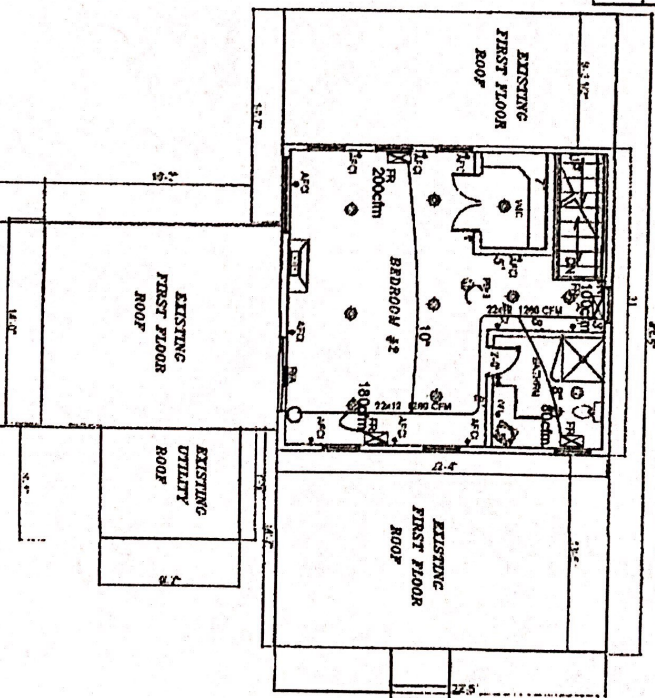
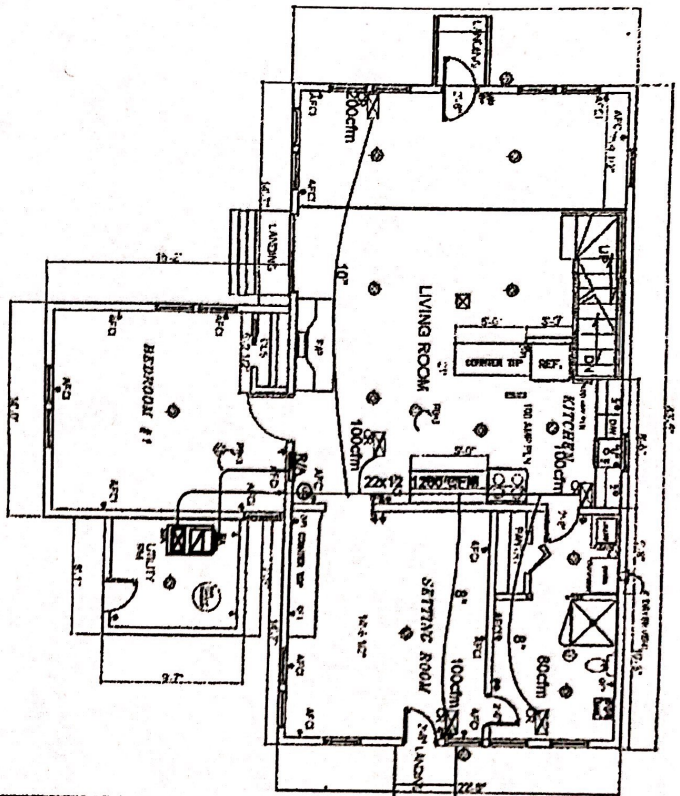
RON & SHERI MARTIN
3910 27TH STREET
CALVERT COUNTY, MARYLAND
661 618 8655/54

FIRST FLOOR
CONTRACTOR, LLC
906 BERRY ROAD, #E
PHOENIX, AZ 85028
PHOTO: 602.752.2221
FIRST FLOOR CONTRACTOR

STRUCTURAL FOOT CENTER
AS PROVIDED IN SECTION
106.1.4.1 D.C.
CONSTRUCTION CODES

SHEET TITLE:
PROPOSED FIRST FLOOR PLAN

SHEET NO.:
P-001



NOTE:
These drawings are the property of Ron & Sheri Martin. They are loaned for the project only and shall not be used for another project without the written consent of Ron & Sheri Martin. These drawings are to be read in conjunction with project specifications and drawings from other consultants. Drawings are not to be used as shop drawings. Do not make drawings, use dimensions as specified.

DISCLAIMER:
Professional Seal and Stamp required for all projects. The seal and stamp of the professional engineer shall be placed on the drawings and shall be legible. The seal and stamp shall be placed on the drawings and shall be legible. The seal and stamp shall be placed on the drawings and shall be legible.

Professional Certification: I hereby certify that these drawings were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. _____, Expiration Date: _____.



SHEET TITLE:
PROPOSED FIRST FLOOR PLAN
PROPOSED SECOND FLOOR PLAN

SHEET NO.:
M-001

REVISIONS:

NO.	DATE	REVISION

ISSUED:
DATE: _____
BY: _____

SEAL:

PROFESSIONAL ENGINEER
RON & SHERI MARTIN
3910 27TH STREET
CALVERT COUNTY, MARYLAND
661 618 8655/54

FIRST OUR
CONSTRUCTION, LLC
2018 BERRY ROAD, SUITE 100
P.O. BOX 571233
ANNAPOLIS, MD 21407
www.firstour.com

PROFESSIONAL ARCHITECT
THESE DRAWINGS ARE THE PROPERTY OF
FIRST OUR CONSTRUCTION, LLC. THEY ARE
LOANED TO YOU FOR YOUR PROJECT ONLY.
THEY ARE NOT TO BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR BY ANY
MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE WRITTEN
CONSENT OF FIRST OUR CONSTRUCTION, LLC.