



**TOWN COUNCIL INFORMATIONAL
WORK SESSION AGENDA
February 6, 2024
Starting at 6:00 PM**

I. Call to Order and Roll Call

II. Pledge of Allegiance

III. Informational discussion on the following:

1. Kellams Field Miller – Loveless Park Improvements RFP
2. Memorandum of Understanding (MOU) Tennis Courts
3. Ordinance O-24-1, an ordinance of the Town Council of Chesapeake Beach, Maryland, amending the annual budget for the General Fund of the Town of Chesapeake Beach for the fiscal year July 1, 2022 to June 30, 2023 to reconcile expenses and ratify over expenditures.
4. Ordinance O-24-2, an ordinance of the Town Council of Chesapeake Beach, Maryland, amending the annual budget for the Water Reclamation Treatment Plant of the Town of Chesapeake Beach for the fiscal year July 1, 2022 to June 30, 2023 to reconcile expenses and ratify over expenditures.
5. Ordinance O-24-3, an ordinance of the Town Council of Chesapeake Beach, Maryland, amending the annual budget for the Utility Fund of the Town of Chesapeake Beach for the fiscal year July 1, 2022 to June 30, 2023 to reconcile expenses and ratify over expenditures.
6. Ordinance O-24-4, an ordinance of the Town Council of Chesapeake Beach, Maryland, amending the annual budget for the Water Park Fund of the Town of Chesapeake Beach for the fiscal year July 1, 2022, to June 30, 2023, to reconcile expenses and ratify over expenditures.
7. Presentation of the FY25 Town of Chesapeake Beach Mitigation Fund Budget.
8. Presentation of the FY25 Town of Chesapeake Beach Water Reclamation Treatment Plant Budget.
9. Presentation of the FY25 Town of Chesapeake Beach General Fund Budget.

8200 BAYSIDE ROAD, P.O. BOX 400 CHESAPEAKE BEACH, MARYLAND 20732

(410) 257-2230

(301) 855-8398



IV. Closed Session A motion to close the work session under the Statutory Authority of the Md. Annotated Code, pursuant to the General Provisions Article, §3-305(b), subsection (1) “to discuss the appointment, employment, assignment, promotion, discipline, demotion, compensation, removal, resignation, or performance evaluation of appointees, employees, or officials over whom this public body has jurisdiction; any other personnel matter that affects one or more specific individuals”.

V. Council Lightning Round

VI. Adjournment

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To: The Honorable Mayor and Town Council

From: Holly Wahl, Town Administrator

Subject: Kellams Field – Miller / Loveless Park Improvements eMMA # BPM041602

Date: February 1, 2024

I. BACKGROUND:

A Request for Proposal (RFP) was released on January 2, 2024, was posted on the public solicitation portal eMaryland Marketplace Advantage eMMA (**BID posting # BPM041602**), and sent directly to 150+ contractors that conduct work within the State of Maryland under the classification code of the project. A mandatory pre-bid meeting was held on January 18, 2024, with representatives present from; Bright Construction, E&R Services, Trinity Subsurface, Gradient, Honey Cove Landscaping and Tree Services, Grassfield Construction, Stratfield, Inc., Eminence, Cedar Lane, Scheibal Construction, McKenzie Contracting, Triple Creek Farm, LLC., Windmill Farms, LLC, Quality Cutz, LLC. Clarifications were issued on January 30th as Amendment #1 and posted on the eMMA portal, were sent to all potential bidders, and sent directly to bidders who attended the pre-bid meeting. The bid due date was extended to February 6, 2024, at 9 AM.

II. PROJECT GOALS:

The goal of subject project is to install a new storm drain under the sports field to allow positive drainage to the park's southfall in the northwest corner of the park as well as install a new elevated playground in the southwest corner of the park where residents of all ages can enjoy safe exercise and play. The Town has worked with All Recreation of Ashburn, Virginia to develop a conceptual playground layout and amenities list. The Town will consider reviewing alternates per the Town's approved permitted plans if the amenities proposed are determined to be equal or better at the Town's sole discretion. The proposed play area shall be ADA accessible, and the surface shall be a rubberized or turf surface as shown on the project plans. The playground construction shall comply with The United States Consumer Product Safety Commission's Public Playground Safety requirements as well as all local, state & federal regulations.

III. PRICING:

The Town is seeking two pricing options for lump sum bid responses.

PART #1 LUMP SUM PROPSALS:

ITEM #1: Storm Drain under Sports Field – The Bid Price includes all work, labor, tools, equipment, bonds, sureties, materials, overhead, profit, commissions, water control and incidental items required to complete the Storm Drain Improvements complete and in-place to the satisfaction of the Town.

ITEM #2: Smith/Loveless Park/Playground Improvements –The Bid Price includes all work, labor, tools, equipment, bonds, sureties, materials, overhead, profit, commissions, water control and incidental items required to complete the Playground and all associated amenities complete and in-place to the satisfaction of the Town including Base Bid Play Equipment.



PART #2: FIXED PRICING FOR EXTRA ITEMS

The Town is seeking per unit itemized pricing for:

1. Additional Class I and III Rip Rap
2. Additional silt fencing
3. Additional CR-6 for stabilization
4. Additional #57 Stone
5. Permanent seed and mulch
6. Undercut for the wall subbase, including haul off and disposal and refill with #2 stone (2' deep)
7. Undercut for Storm Drain including haul off and disposal and refill with #2 stone (2' deep)
8. Steel concrete bollards
9. Material allowance
10. Adding a sun sail, complete and in place
11. Adding additional play equipment per the plan

IV. FUNDING:

Funding for this project will come from the Town of Chesapeake Beach General Fund with \$150,000 in contributions from the Maryland Parks and Playground fund for equipment for the play area.

V. NEXT STEPS:

Sealed proposals will be received February 6, 2024, at 9AM in Town Hall. Proposals will be unsealed publicly and read to the public in the Town Council chambers at 9:01 AM. Proposals will be reviewed by Town staff and provided to the Town Council that evening on the February 6, 2024, Town Council work session.

Town staff plans to bring back a recommendation for the award during the February 15, 2024, Town Council meeting.

Once proposals are received, Town staff will also brief the Town Council on expected impacts to field activities based on the timing of the award for consideration of potential impacts.



7 Old Solomons Island Road • Suite 202 • Annapolis, MD 21401
(410) 266-3212 • Fax (410) 266-3502 • www.messickandassociates.com

Date: January 22, 2024

To: Meeting Attendees:

Mike Domingues	Bright Construction
Jose' Osorio	E & R Services
Tracey Shoemaker	Trinity Subsurface
Mike O'Brien	Gradiant
Rob Randall	Honey Cove Landscaping and Tree Services
Georges Kamguia	Grassfield Construction
Thomas Giorgilli	Stratfield Inc.
Michael Dempster	Eminence HVAC Services
A.J. O'Dell	Cedar Lane
Kristen Doty	Scheibel Construction
Robert Gatens	McKenzie Contracting
Ray Sears	Triple Creek Farm, LLC.
Les King	Windmill Farm
Mike Gebiche	Quality Cutz, LLC

From: Wayne A. Newton, P.E.
Messick Group, Inc. T/A Messick & Associates, Town Engineer

Re: Tot Lot/ Kellam's Field Improvements Pre-Bid Meeting
January 18, 2024 at 9:30 am

Project Description: The Town of Chesapeake Beach is issuing this Request for Proposal in order to contract civil site work services to include retaining wall, storm drain, storm water management and playground construction to construct the park and storm drain facilities shown on the contract drawing and specifications.

Mr. Wayne Newton explained the scope of work for the upgrade to the Tot Lot/Kellam's field and reviewed the project requirements, and explained how unit pricing works.

The following questions were asked and answers given during the pre-bid meeting and afterwards by the question cutoff.

Questions & Answers:

1. Will there be a wall around the tot lot?

Yes.

2. Is traffic control required?


The contractor will have access to off street parking lots to unload equipment. If your equipment cannot be loaded or unloaded off street, include traffic control for that purpose or any other you see required. All other work is off street.

3. Is the Property Line equal to the fence?

Yes

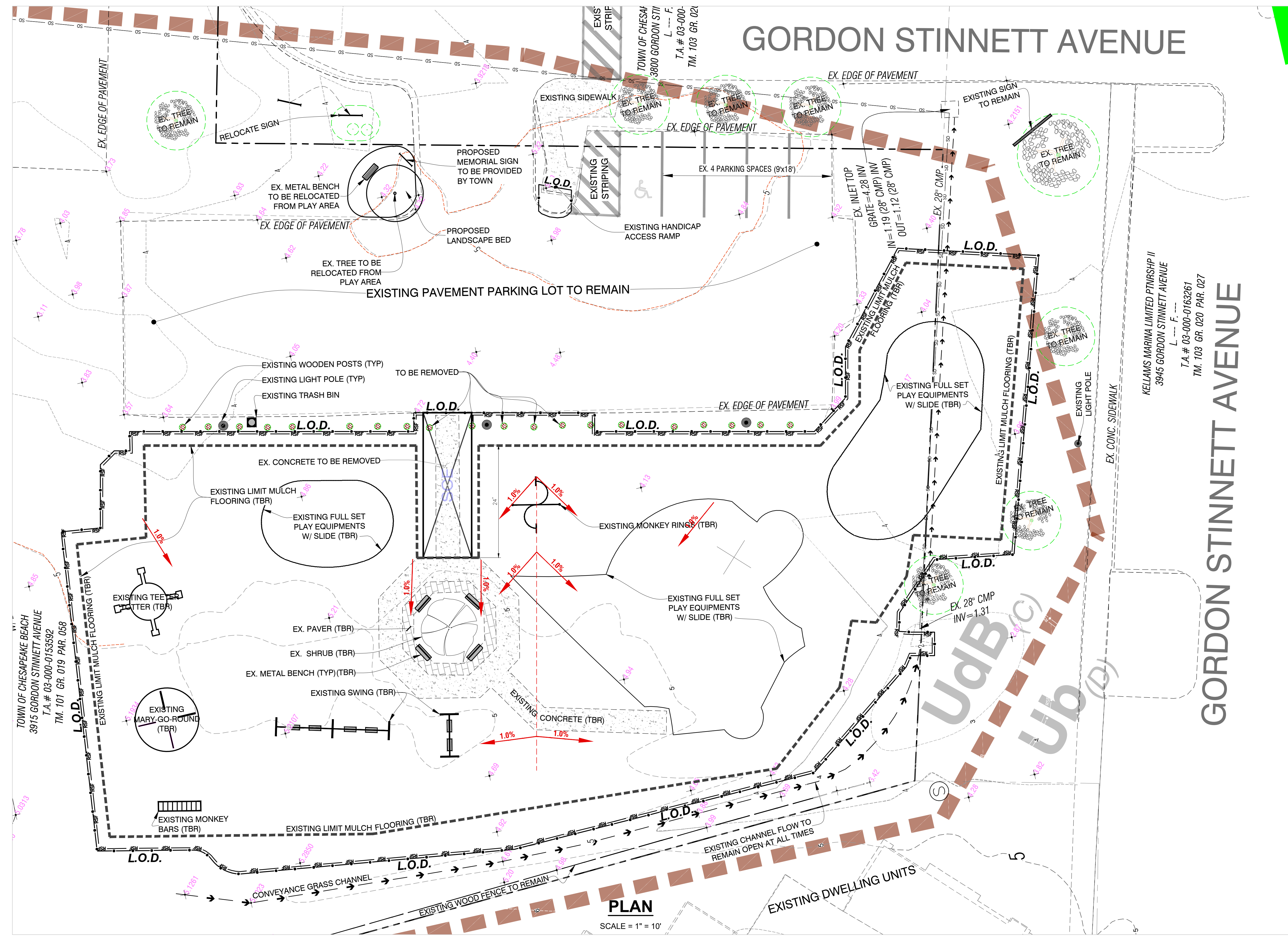
4. **Is Temporary fencing required?**
Yes
5. **Is the truck access ok?**
Yes
6. **Will dewatering be required?**
We anticipate dewatering will be a factor for the installation of the improvements. For bidding purposes, assume sump pits and pumps are required. No well points anticipated.
7. **How do we handle sprinklers?**
DPW will move out of your way or repair as needed.
8. **How do we handle the fence removal and repair if needed?**
The Town will remove fencing for access and will repair any areas needed for access to the work.
9. **Will mud mats be needed?**
Maybe. Contractor to determine if needed
10. **Where do we place unsuitable soil?**
In the Town DMP site near the site. Coordinate with Jay Berry for location.
11. **Will the town have full-time inspection?**
No. DPW staff will perform Part time inspections.
12. **Do we need to locate private utilities?**
The Town will locate all the utilities and will remove the electric line out of the contractors way. Contractor to cut conduits and repair. DPW will pull the wire out and re-install it on the repaired conduit.
13. **Can we submit alternatives for playground equipment?**
Yes, but your alternate proposal needs to be approved by the Town prior to bidding.
14. **What do we do with pieces of equipment you want to keep?**
Coordinate with DPW on the removal. You unbolt them and DPW will haul them away.
Salvage the Memorial Plaque, Balance Beam, and yellow spin feature
15. **If plans change after permit issuance will there be a change order?**
Yes.
16. **Are we going to seed or soil the field?**
Seed, mulch and fertilizer.
17. **Are there any pictures of the proposed playground equipment exactly?**
The Schematic design from the manufacturer and list of amenities is attached to the addendum.
18. **What is the age range of the playground equipment that will be installed?**
All ages.

19. **Which version of All Recreation's playground proposal are you using as your baseline to compare any other proposed playground set ups to?**
See plan attached to the addendum
20. **What type of rubber surface is needed for the playgrounds flooring?**
Bondflex
21. **Can I drop off the bid package at your office rather than the post office.**
Yes, sealed proposals should be dropped off at Town Hall. Please ensure they are marked as the RFP states and are clearly labeled SEALED PROPOSAL.
22. **The RFP doesn't include the equipment selections & locations for the playground. (The layout in the RFP shows the extents of the turf and rubber only.)**
See plan attached to the addendum
23. **Are we as the contractor supposed to install the new playground and put that in our bid or you have All Recreation installing? We are just pricing demo?**
The installation of all recreation equipment is to be included in the bid. All Rec or other pre-approved playground design/manufacturer are to be subcontracted by the prime contractor.

Respectfully,
Messick Group, Inc.
T/A Messick & Associates

Wayne A. Newton, P.E.
President, Town Engineer

GORDON STINNETT AVENUE

NOTE: PRIOR TO REMOVAL OF EXISTING PLAY EQUIPMENT CONTRACTOR TO CONSULT WITH THE TOWN OF CHESAPEAKE DEPARTMENT OF PUBLIC WORKS (DPW) FOR PIECES TO BE SAVE AND STORED AS DIRECTED BY DPW.



PLAN
SCALE = 1" = 10'

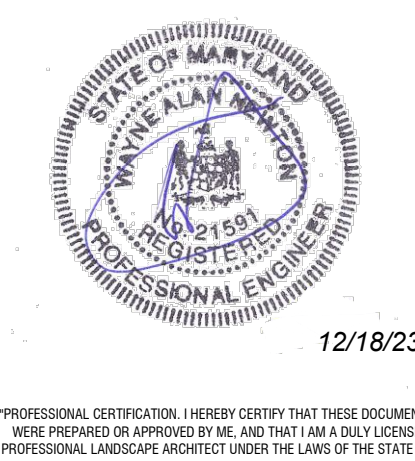
LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR LINE
+	EXISTING SPOT ELEVATION
---	EXISTING STORM DRAIN LINE
---	EXISTING CONCRETE WALKWAY
---	EXISTING LIMIT OF MULCH FLOOR
---	EXISTING PLAYGROUND EQUIPMENT AREA
Ud _B	SOIL LINE / TYPE _{GROUP}
Ub _D	
---	PROPOSED CONTOUR
---	PROPOSED REINFORCE SILT FENCE (RSF)
T.B.R.	TO BE REMOVED
---	FLOW DIRECTION

TEMPORARY STOCKPILE AREA NOTE
STOCKPILE AREAS: MAXIMUM HEIGHT NOT TO EXCEED 15' AND MAXIMUM SLOPE NOT TO EXCEED 2:1

REVISION	DESCRIPTION	BY	DATE

MESSICK & ASSOCIATES*
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND ROAD, SUITE 202
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 * FAX (410) 266-3502
email: engr@messickandassociates.com



OWNER:
TOWN OF CHESAPEAKE BEACH
P.O. BOX 400
CHESAPEAKE BEACH, MD. 20732
ATTN: HOLLY K. WAHL
(410) 257-2230

EXISTING TOT LOT - DEMOLISHING PLAN
KELLAM'S PARK TOT LOT & STORM DRAIN
3915 GORDON STINNETT AVENUE
CHESAPEAKE BEACH, MARYLAND 20732
A.A.S.C.D.# ---
TAX MAP: 101 GRID: 019 PARCEL: 058 LOTS: --- ZONING: ---
THIRD TAX ASSESSMENT DISTRICT CALVERT COUNTY, MARYLAND 20732
SCALE: AS SHOWN DATE: JULY, 2023 SHEET 2 OF 7

December 19, 2023 FILE: G:\The Town of Chesapeake Beach\Main\Draw\Grading\Plan\02_Existing_KellamPark-101-Lot_Grading-Plan_01-17-23.dwg

GORDON STINNETT AVENUE

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR LINE
	EXISTING SPOT ELEVATION
	EXISTING STORM DRAIN LINE
	EXISTING LIMIT OF MULCH FLOOR
	EXISTING PLAYGROUND EQUIPMENT AREA
	SOIL LINE / TYPE (GROUP)
	PROPOSED CONTOUR
	PROPOSED L.O.D.
	PROPOSED REINFORCE SILT FENCE (RSF)
	TO BE REMOVED
	FLOW DIRECTION

SGW PLANTING SCHEDULE

QTY	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	ROOT
17	CA	2-1/2' HT.	CLETHRA ALNIFOLIA	SWEET PEPPER BUSH	5' O/C	CONT.
14	IV	1 GAL.	IRIS VERSICOLOR	BLUE IRIS	2-3' O/C	CONT.
11	PV	3 GAL.	PANICUM VIRGATUM	SWITCH GRASS	3'-4' O/C	CONT.

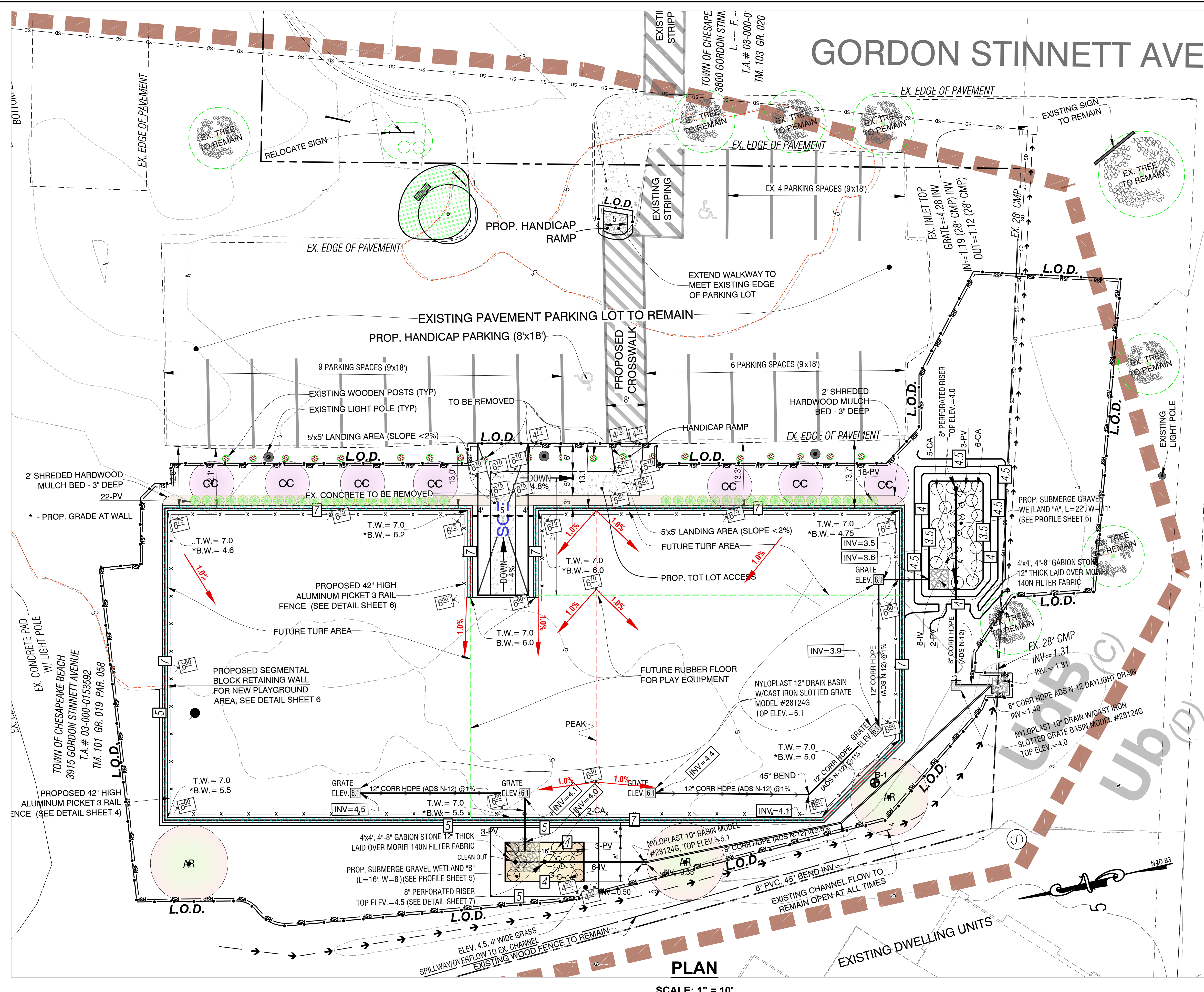
NOTE:
 1. AS REQUIRED BY TOWN, CONTRACTOR TO PROVIDE EXISTING EQUIPMENT TO BE SALVAGE OF USE ELSEWHERE.
 2. SEE SHEET 5 FOR SWM PROFILES.
 3. SEE SHEET 6 * 7 FOR SWM DETAILS.

SOIL TABLE

ID	HSG	DESCRIPTION
UdB	C	UDORTHERTS LOAMY
TOTAL SITE AREA:		0.44 AC.

PROPOSED PLANT SCHEDULE (PERIMETER OF RETAINING WALL)

QTY.	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	ROOT
3	AR	2.5' CAL.	ACER RUBRUM / OCTOBER GLORY	OCTOBER GLORY RED MAPLE	75' O.C.	B&B
7	CC	1.5' CAL.	CERCIS CANADENSIS	EASTERN RED BUD	30' O.C.	B&B
40	PV	3 GAL.	PANICUM VIRGATUM	PANIC GRASS	5' O.C.	CONTAINER



PLAN
 SCALE: 1" = 10'

NOTE:
 FEMA MAP: 24099C0083G
 FEMA ZONE: AE ELEV. = 4.0'

TEMPORARY STOCKPILE AREA NOTE
 STOCKPILE AREAS: MAXIMUM HEIGHT NOT TO EXCEED 15' AND MAXIMUM SLOPE NOT TO EXCEED 2:1

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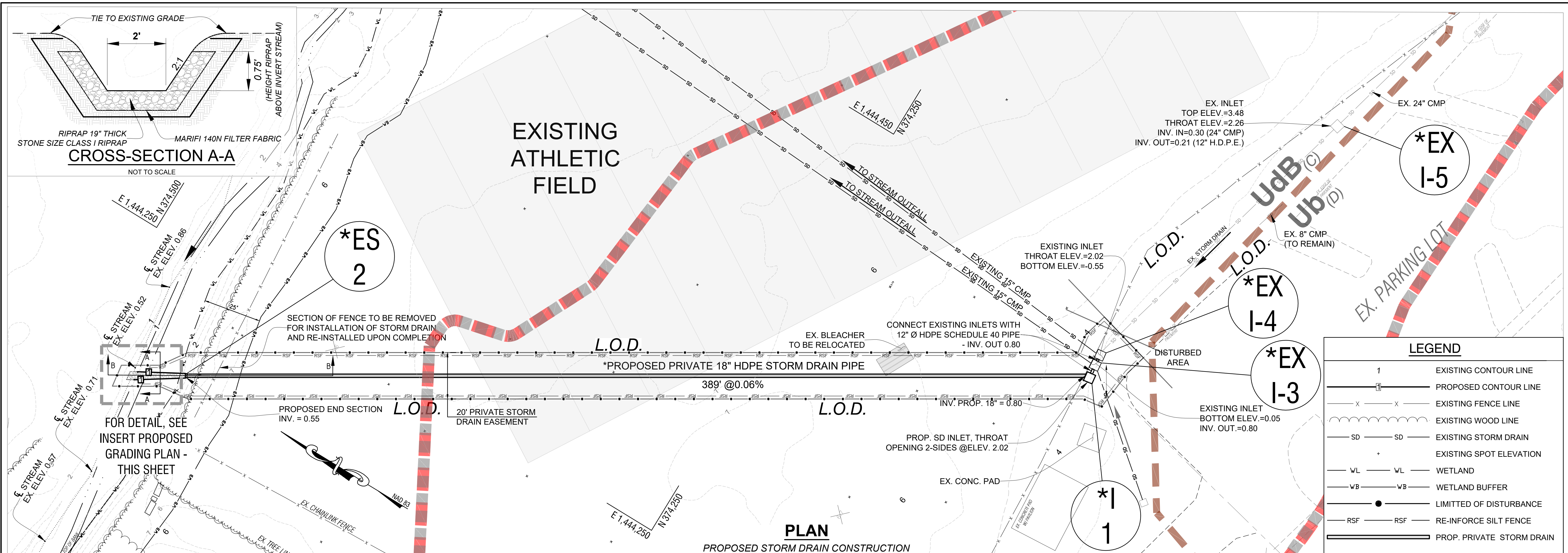
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STATE OF MARYLAND
 PROFESSIONAL LANDSCAPE ARCHITECT
 12/18/23

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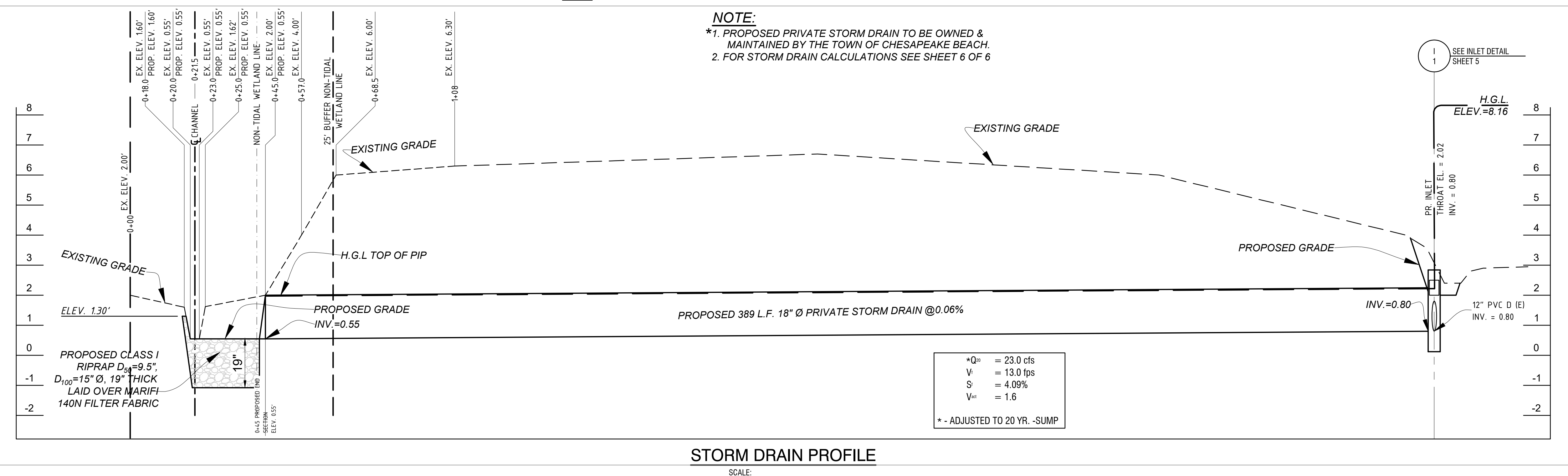
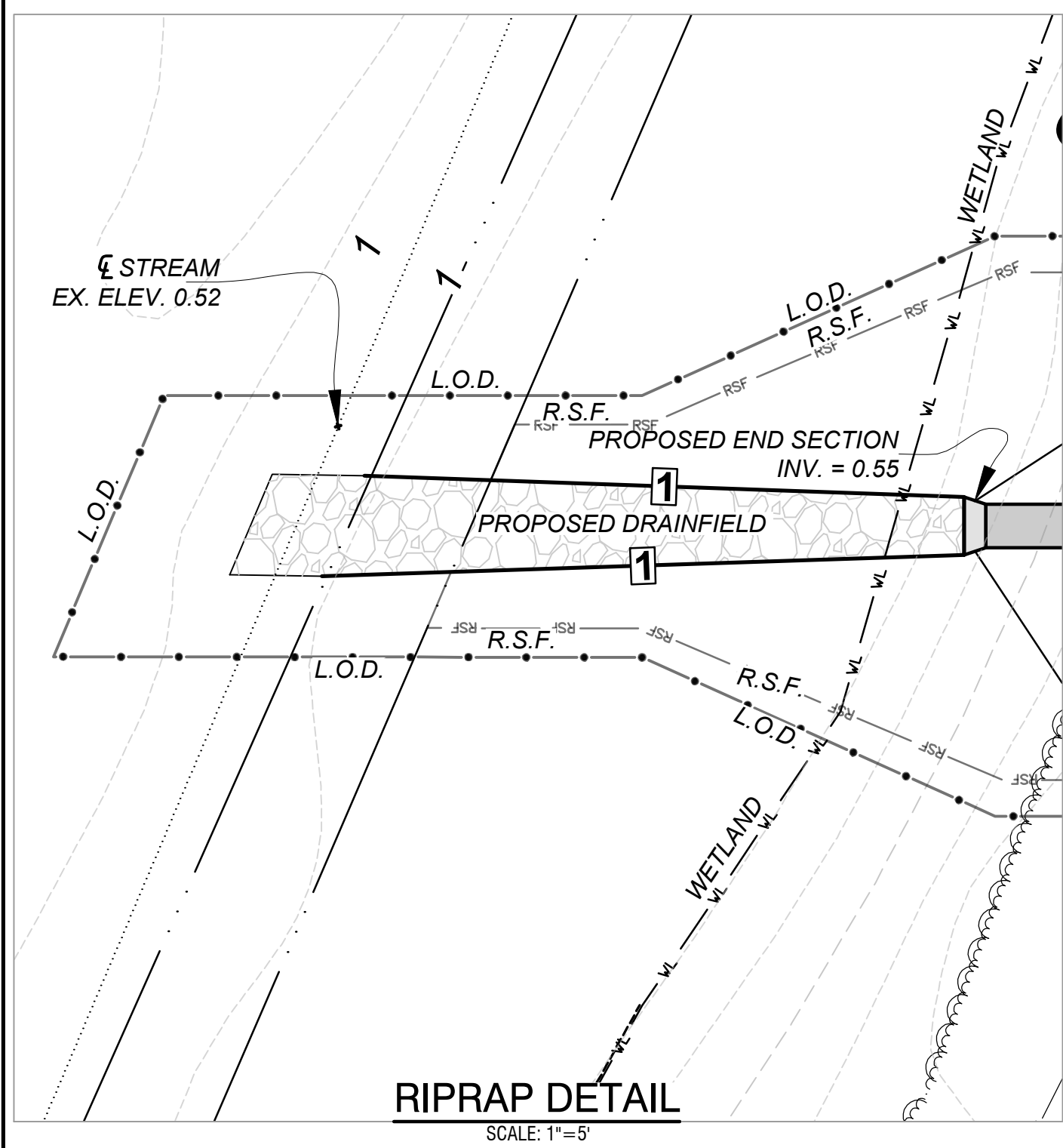
TOT LOT - GRADING AND LANDSCAPING PLAN
KELLAM'S PARK TOT LOT & STORM DRAIN
 3915 GORDON STINNETT AVENUE
 CHESAPEAKE BEACH, MARYLAND 20732
 A.A.S.C.D.# -
 TAX MAP: 101 GRID: 019 PARCEL: 058 LOTS: --- ZONING: ---
 THIRD TAX ASSESSMENT DISTRICT CALVERT COUNTY, MARYLAND 20732
 SCALE: AS SHOWN DATE: JULY, 2023 SHEET 3 OF 7

December 19, 2023 FILE: G:\The Town of Chesapeake Beach\Kellam's Park\DWG\Grading_Plan\3915-Gordon-Stinnett-Avenue-10'-10'-Landscape-Plan-01-17-23.dwg



LEGEND

1	EXISTING CONTOUR LINE
1	PROPOSED CONTOUR LINE
X X	EXISTING FENCE LINE
~	EXISTING WOOD LINE
SD SD	EXISTING STORM DRAIN
+	EXISTING SPOT ELEVATION
WL WL	WETLAND
WB WB	WETLAND BUFFER
●	LIMITED OF DISTURBANCE
RSF RSF	RE-INFORCE SILT FENCE
---	PROP. PRIVATE STORM DRAIN

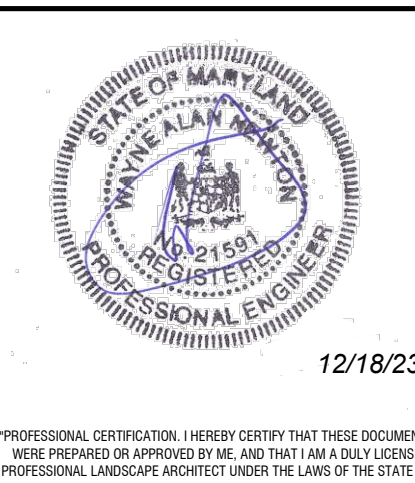


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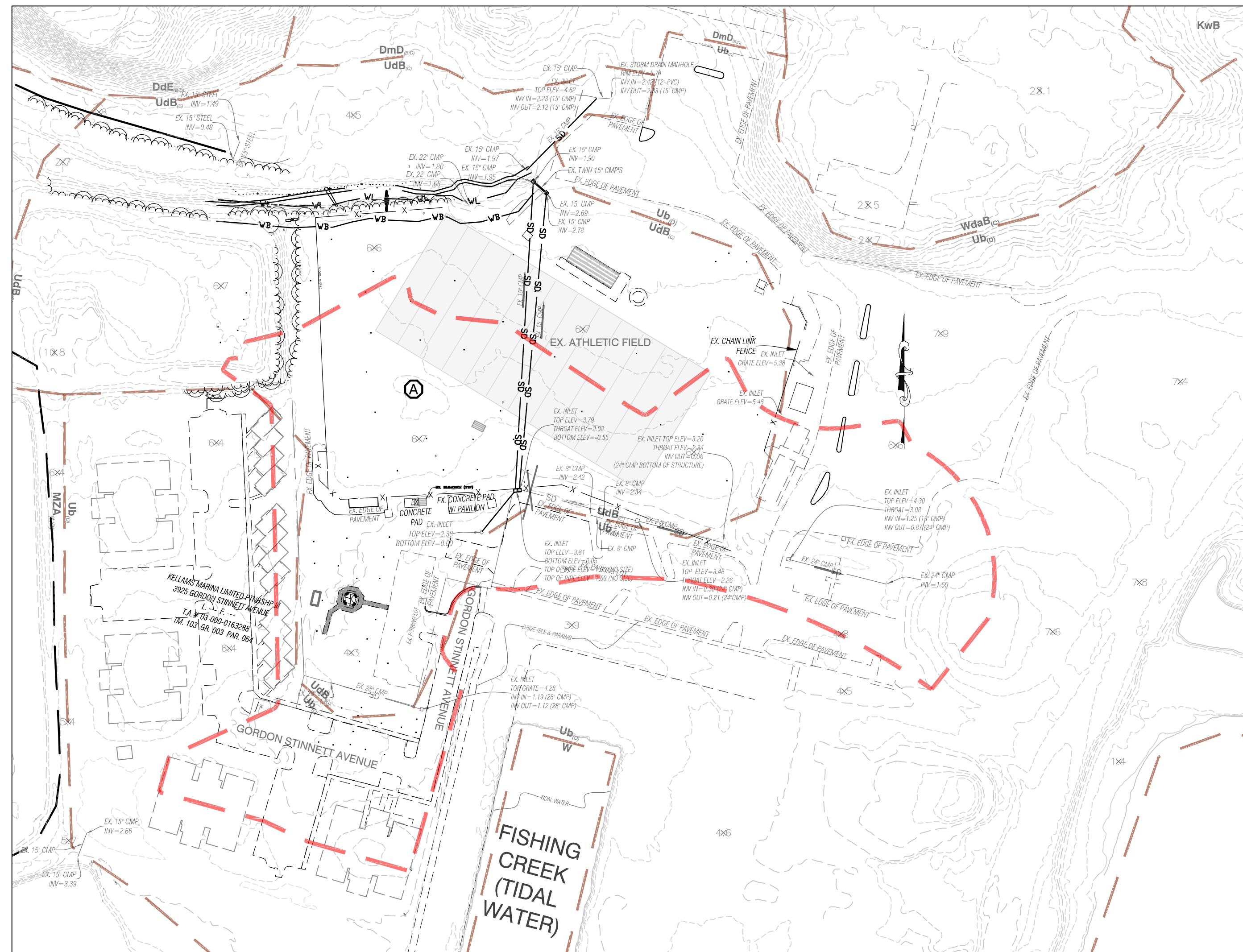
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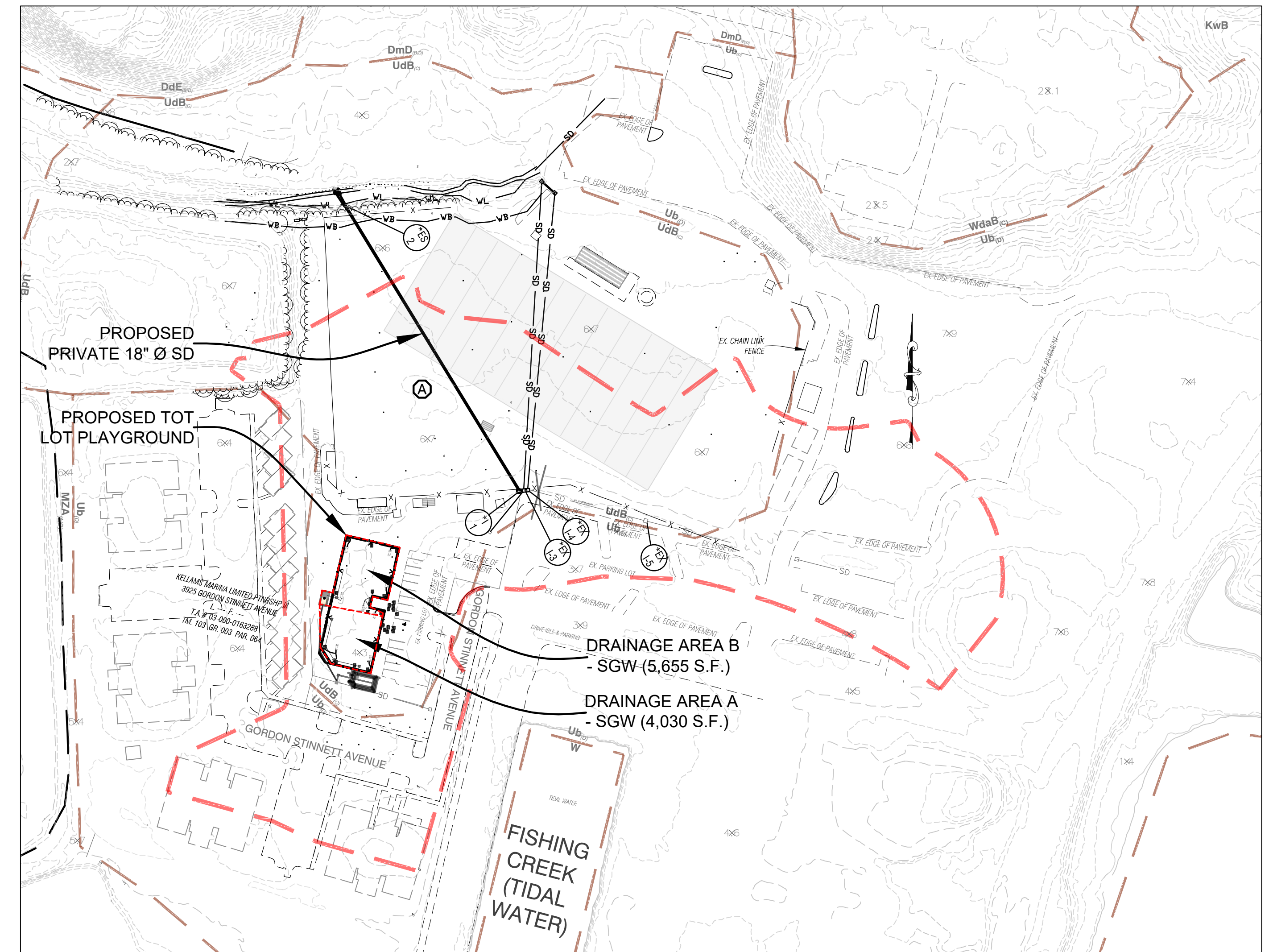
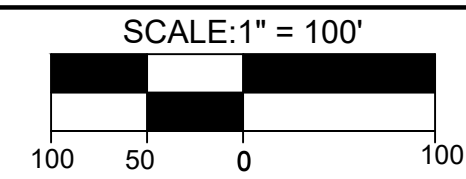
ATHLETIC FIELD - STORM DRAIN PLAN, PROFILE AND DETAILS

KELLAM'S PARK TOT LOT & STORM DRAIN
 3915 GORDON STINNETT AVENUE
 CHESAPEAKE BEACH, MARYLAND 20732

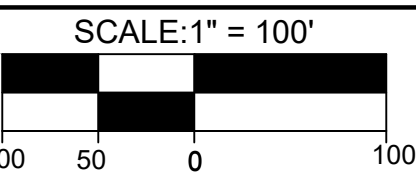
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 THIRD TAX ASSESSMENT DISTRICT CALVERT COUNTY, MARYLAND 20732
 SCALE: AS SHOWN DATE: JULY, 2023 SHEET 4 OF 7



EXISTING STORM DRAIN DRAINAGE AREA MAP

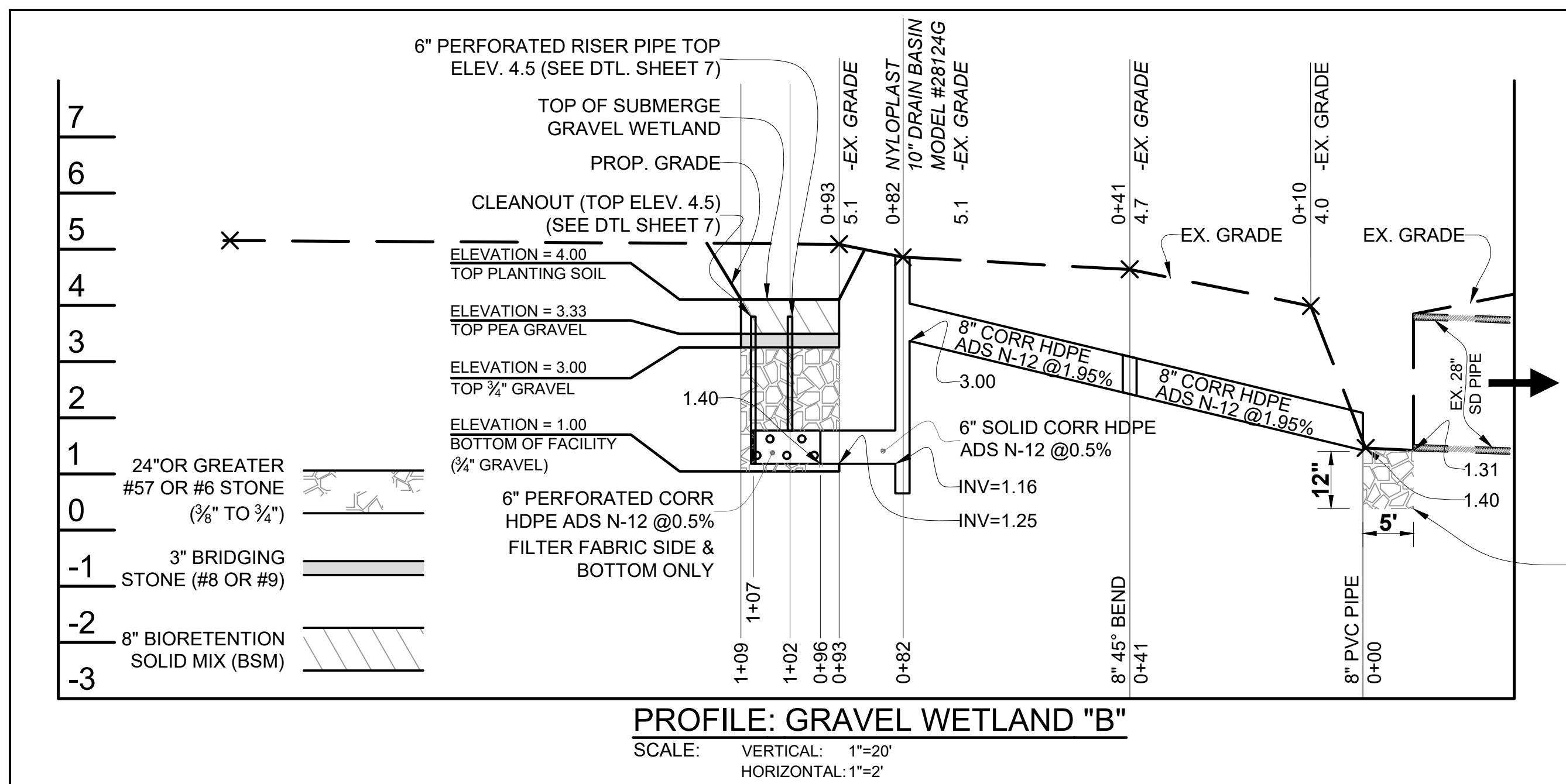


PROPOSED STORM DRAIN DRAINAGE AREA MAP



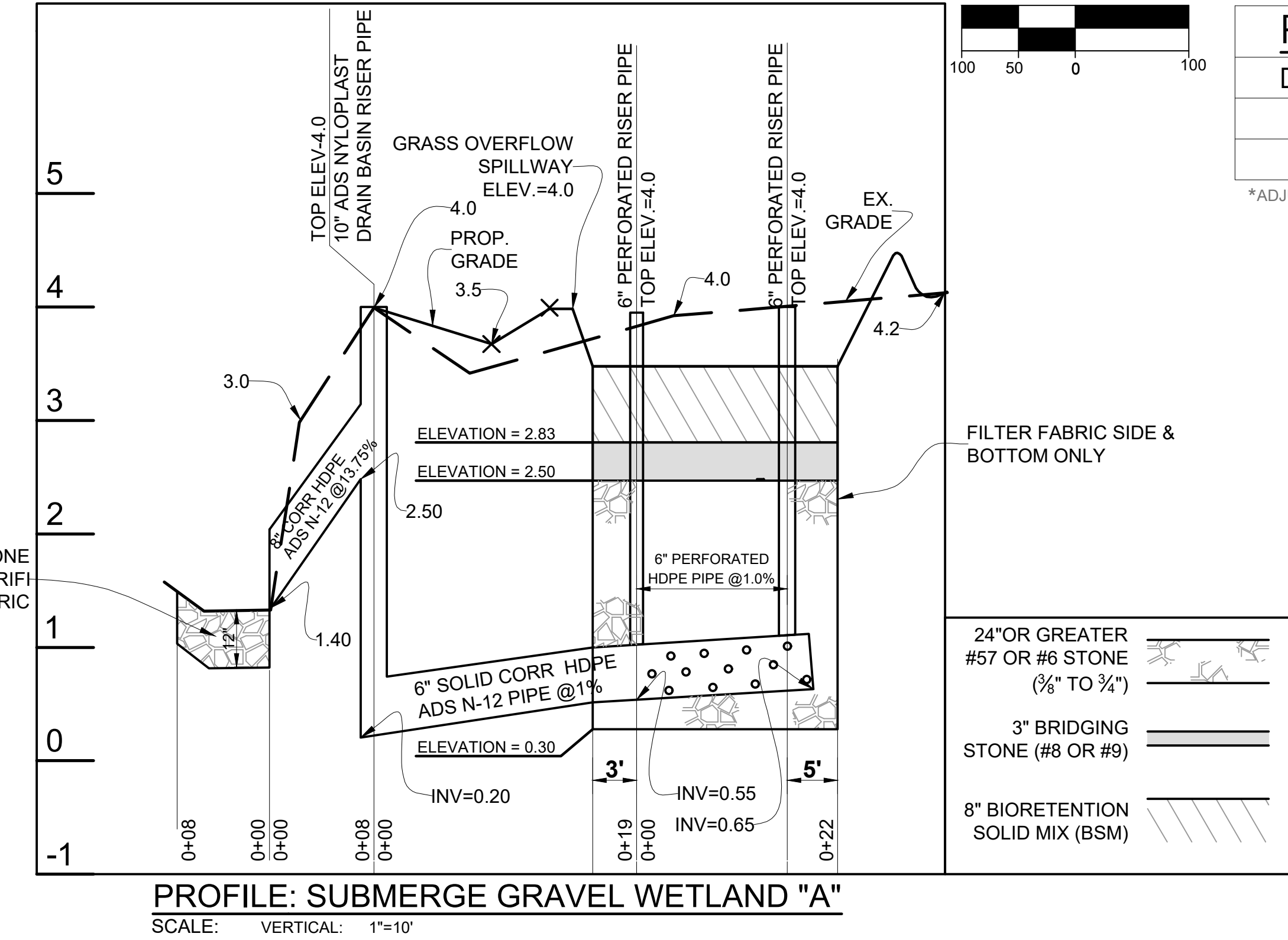
PROPOSED CONDITIONS D.A. STORM DRAIN I-1					
DA	AREA	"C" FACTOR	T.C.	I	*Q cfs
A	6.89 AC	0.47	10.0 MIN.	6.47	23

*ADJUSTED FOR 20 YR. (SUMP CONDITION)



PROFILE: GRAVEL WETLAND "B"

SCALE: VERTICAL: 1"=20'
HORIZONTAL: 1"=2'



PROFILE: SUBMERGE GRAVEL WETLAND "A"

SCALE: VERTICAL: 1"=10'
HORIZONTAL: 1"=1'

LEGEND

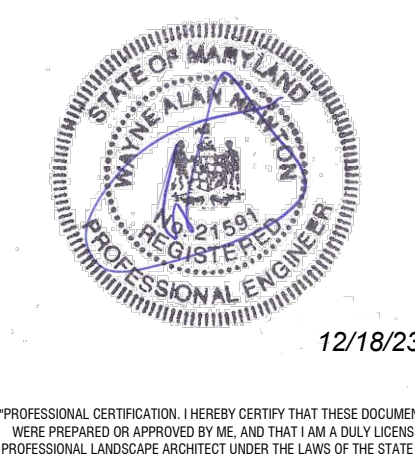
- PROPOSED STORM DRAIN
- STORM DRAIN STRUCTURE
- PROPOSED DRAIN AREA
- PLANTING SOIL

REVISION	DESCRIPTION	BY	DATE

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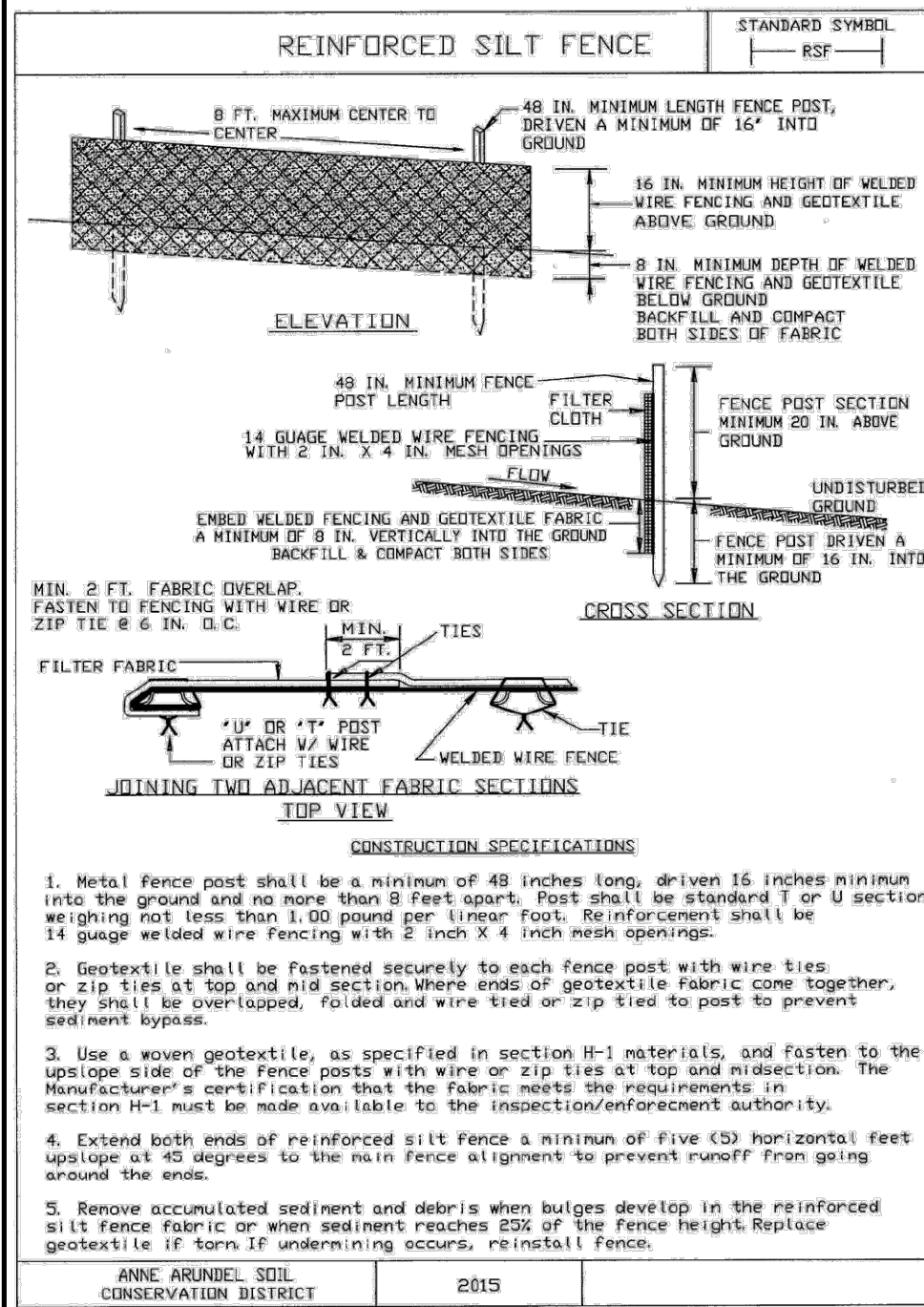
TOWN OF CHESAPEAKE BEACH
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EXISTING & PROPOSED SD DRAINAGE AREA MAP

KELLAM'S PARK TOT LOT & STORM DRAIN
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A.A.S.C.D.# -

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REINFORCED SILT FENCE

Design Criteria

Reinforced Silt Fence Design Constraints

- The use of Reinforced Silt Fence must conform to the design constraints listed above.
- The area downgrade of the Reinforced Silt Fence must be undisturbed ground.
- Reinforced Silt Fence must be placed along the contour.
- Reinforced Silt Fence should be used with caution in areas where rocky soils may prevent trenching.
- Extend both ends of reinforced silt fence a minimum of five (5) horizontal feet up slope and 45 degrees to the main fence alignment to prevent runoff from going around the edges.

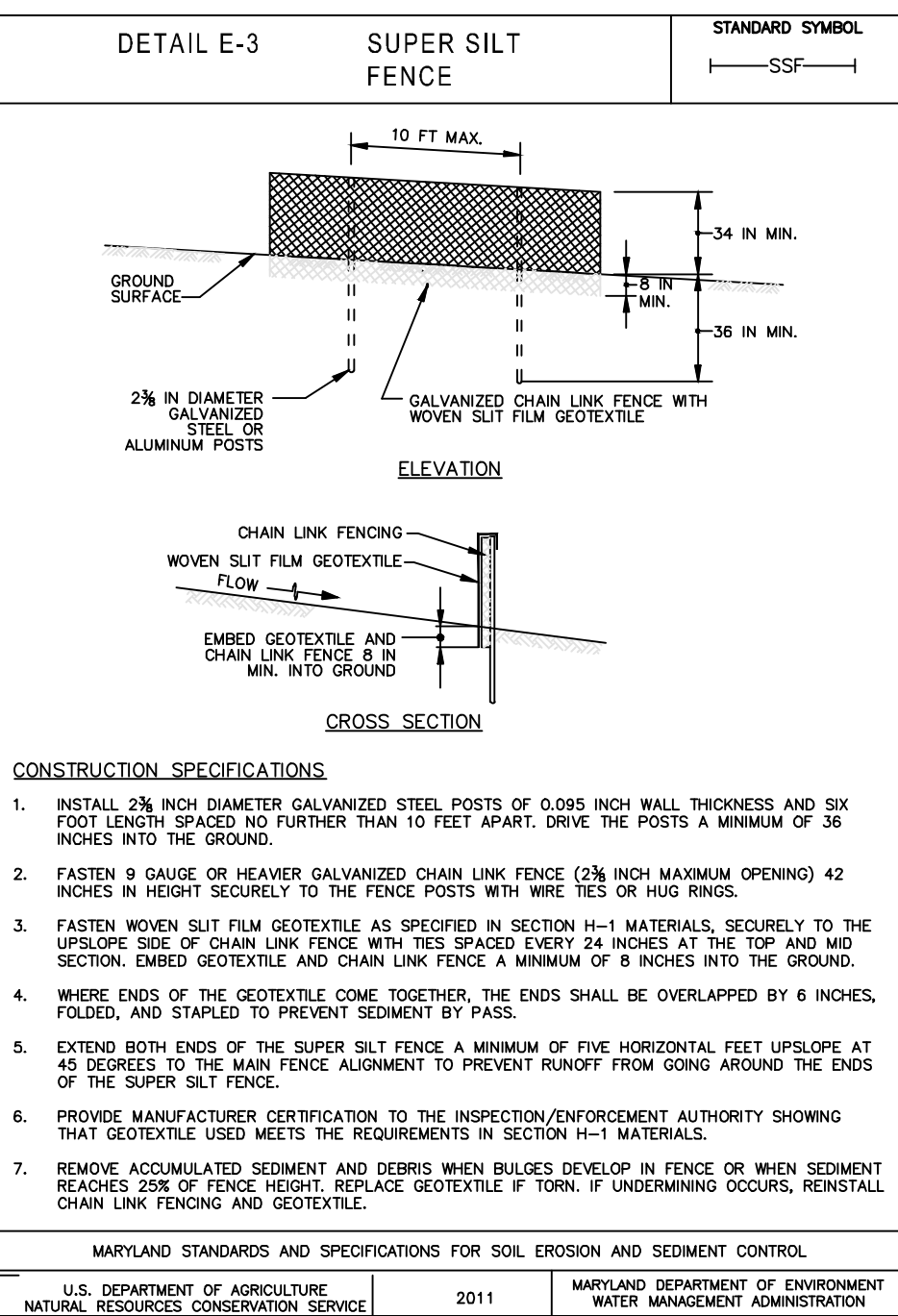
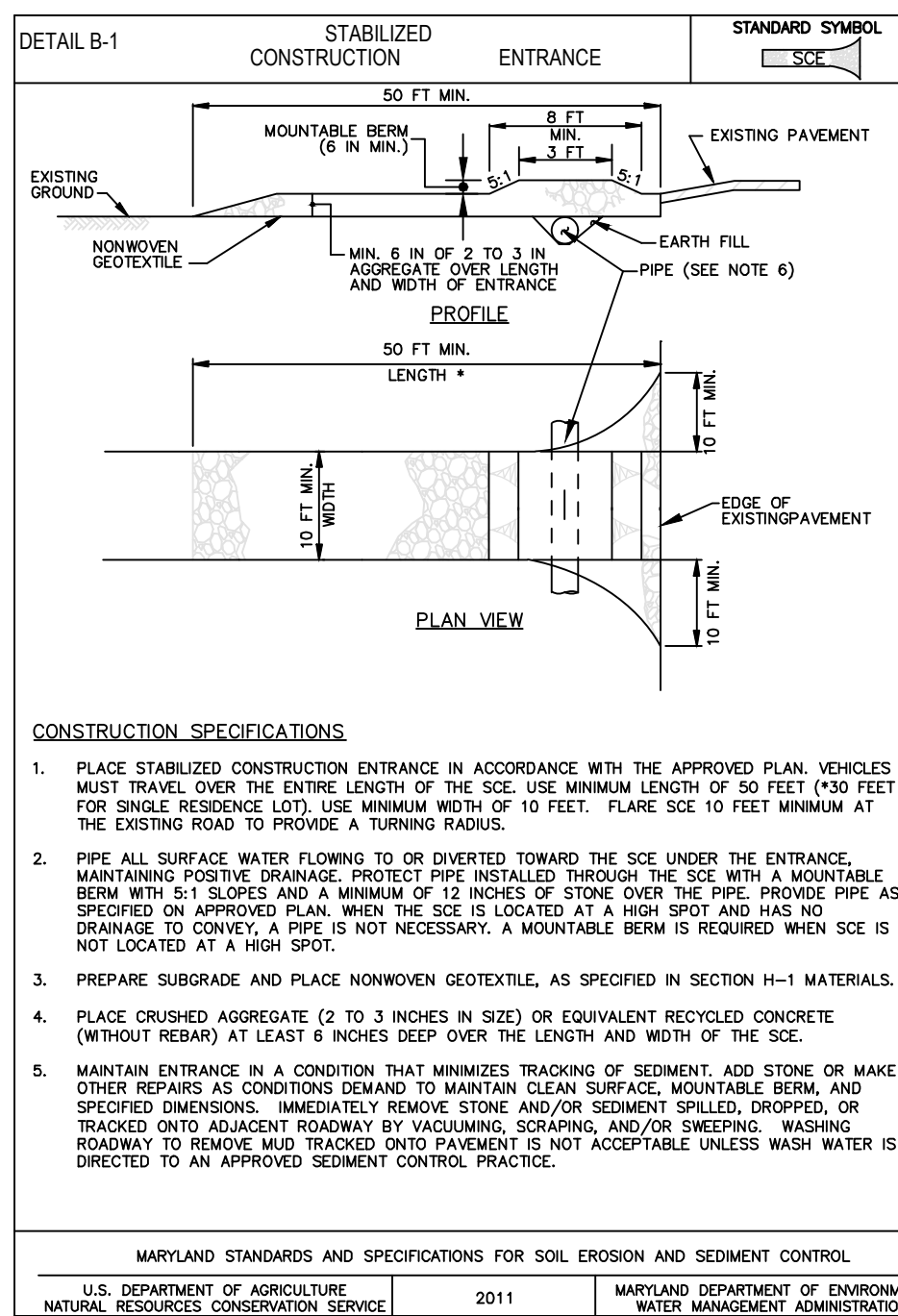
1. Metal fence post shall be a minimum of 48 inches long, driven 15 inches minimum into the ground and no more than 8 feet apart. Post shall be standard 1 or 4 section weighing not less than 1.00 pound per linear foot. Reinforcement shall be 14 gauge welded wire fencing with 2 inch x 4 inch mesh openings.

2. Geotextile shall be fastened securely to each fence post with wire ties or zip ties at top and mid section, where ends of geotextile fabric come together, they shall be overlapped, folded and wire tied or zip tied to post to prevent sediment bypass.

3. Use a woven geotextile, as specified in section H-1 materials, and fasten to the upslope side of the fence posts with wire or zip ties at top and mid section. The Manufacturer's certification that the fabric meets the requirements in section H-1 must be made available to the inspection/enforcement authority.

4. Extend both ends of reinforced silt fence a minimum of five (5) horizontal feet up slope at 45 degrees to the main fence alignment to prevent runoff from going around the ends.

5. Remove accumulated sediment and debris when bulges develop in the reinforced silt fence fabric or when sediment reaches 25% of the fence height. Replace geotextile if torn or undermining occurs, re-install fence.



ES-2 TO I-2

20-YEAR HYDRAULIC GRADIENT COMPUTATION FORM

KELLAM PARK TOT LOT

BEGINNING LOCATION (STRUCTURE ID)	ES-2	PIPE SIZE	18 IN.	HEADLOSS FT.
INVERT OF PIPE @ ES-2	0.55			2.65
10-YEAR TAILWATER ELEVATION				2.05
10-YEAR HYDRAULIC GRADE LINE				2.05
TOP OF PIPE @ DOWNSTREAM END OF FIRST PIPE	2.05			BEGINNING HGL = 2.05

FROM	ES-2	TO	I-1	LENGTH	SIZE	FRICITION SLOPE	HEADLOSS FT.
INV	0.55	INV.	0.80	389 LIN. FT.	18 IN.	@ 0.68%	2.65
T.O.P.	2.05	T.O.P.	2.30				4.70
HGL ELEVATION @ DOWNSTREAM END OF I-1							4.70

STRUCTURE NO.	I-1	TYPE	Inlet	DEFLECTION	D.S. - HGE	4.70
HGL TO HIGH REDESIGN STORM DRAIN						
HYDRAULIC GRADE LINE						
TOTAL HEAD LOSS THROUGH STRUCTURE						
HGL @ UPSTREAM END OF I-1						
HGL @ UPSTREAM END OF I-1						
HGL @ UPSTREAM END OF I-1						

H-1 STANDARDS AND SPECIFICATIONS

FOR

MATERIALS

Table H.1: Geotextile Fabrics

PROPERTY	TEST METHOD MD	MINIMUM AVERAGE ROLL VALUE ¹			
		WOVEN SILT FENCE GEOTEXTILE	WOVEN MONOFILAMENT GEOTEXTILE	NONWOVEN GEOTEXTILE	
		CD	MD	CD	MD
Grab Tensile Strength	ASTM D-4632	200 lb	200 lb	370 lb	250 lb
Grab Tensile Elongation	ASTM D-4632	15%	10%	15%	15%
Trapezoidal Tear Strength	ASTM D-4533	75 lb	75 lb	100 lb	60 lb
Puncture Strength	ASTM D-6241	450 lb	900 lb		450 lb
Apparent Opening Size ²	ASTM D-4751	U.S. Sieve 30 (0.59 mm)	U.S. Sieve 70 (0.21 mm)	U.S. Sieve 70 (0.21 mm)	U.S. Sieve 70 (0.21 mm)
Permeability	ASTM D-4491	0.05 sec-1	0.28 sec-1	0.28 sec-1	1.1 sec-1
Ultraviolet Resistance Retained at 500 hours	ASTM D-4355	70% strength	70% strength	70% strength	70% strength

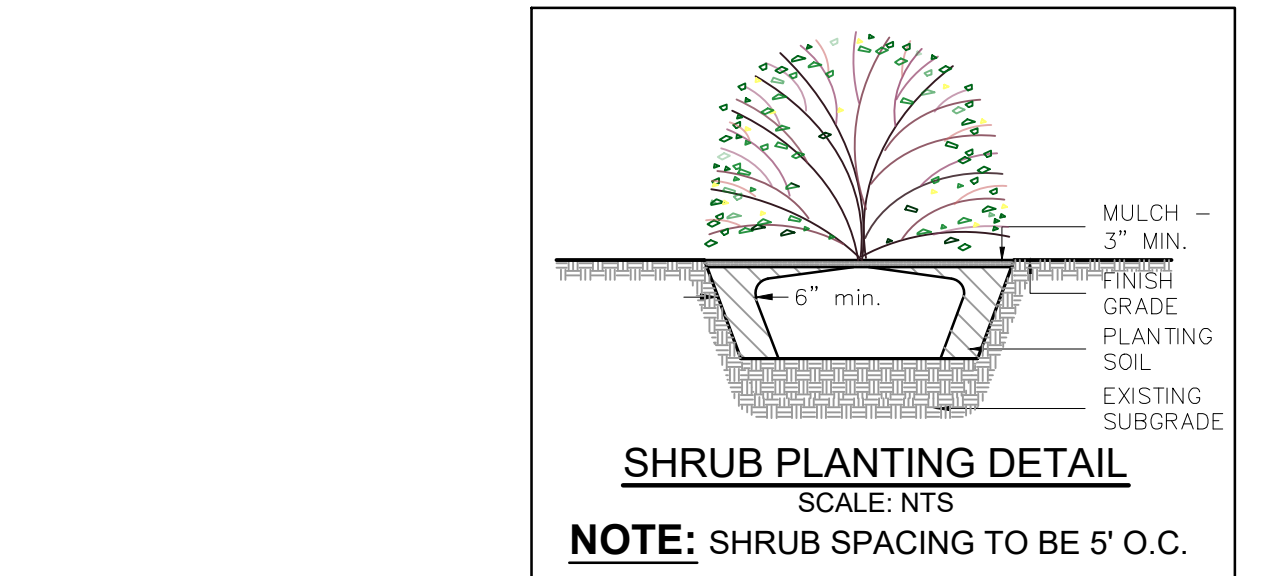
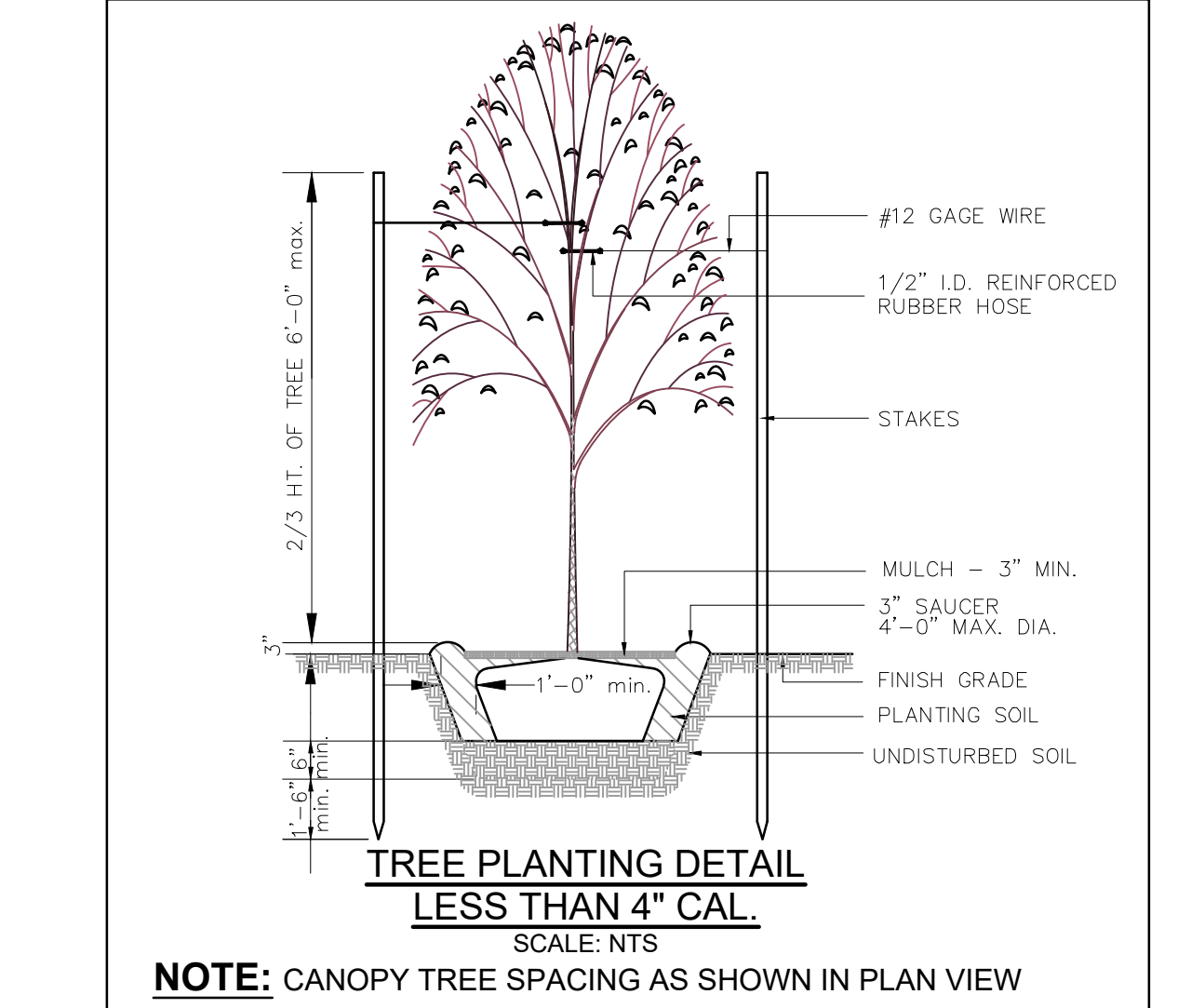
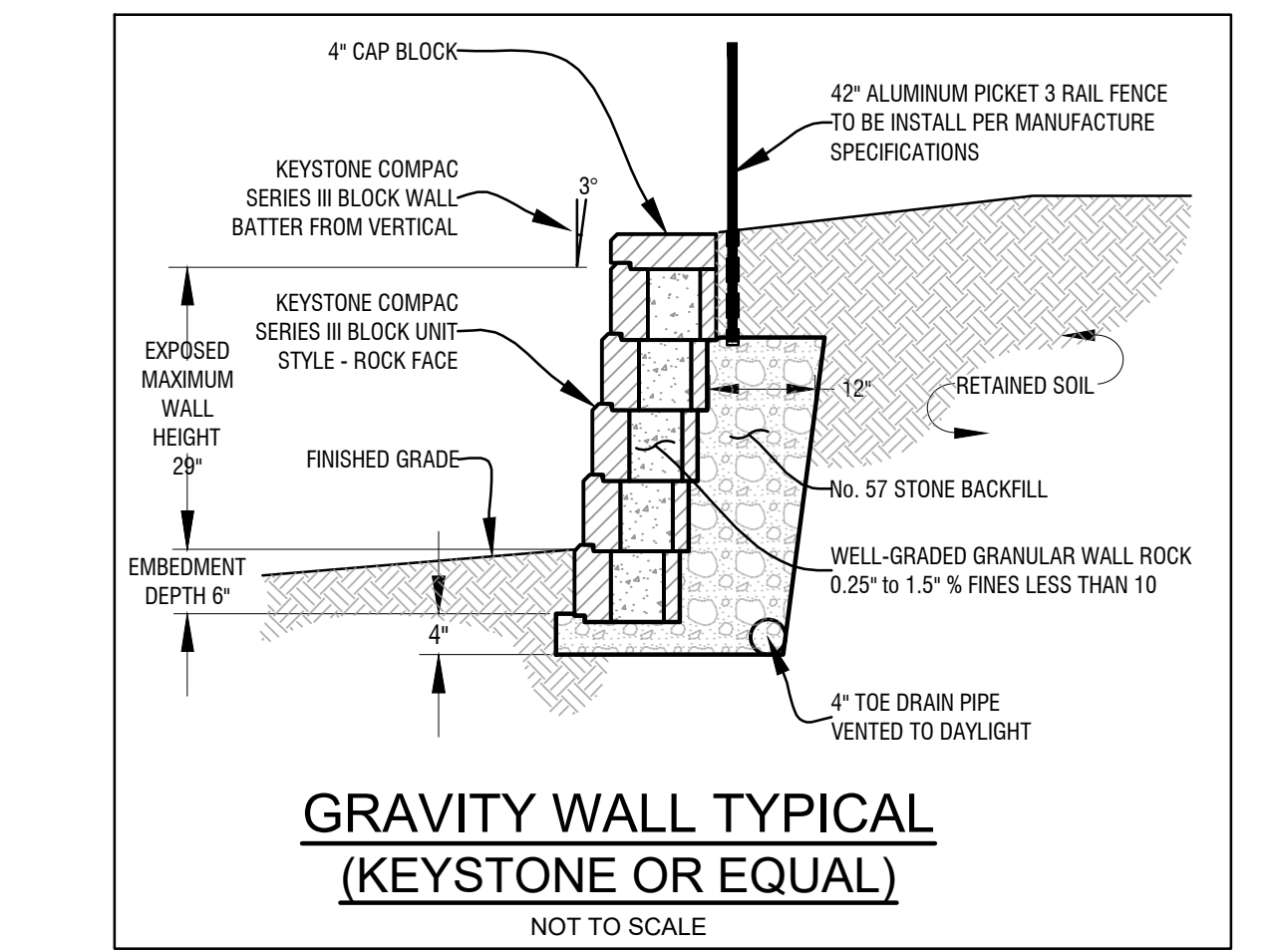
1 All numeric values except apparent opening size (AOS) represent minimum average roll values (MARV). MARV is calculated as the typical minus two standard deviations. MD is machine direction; CD is cross direction.

2 Values for AOS represent the average maximum opening.

Geotextiles must be evaluated by the National Transportation Product Evaluation Program (NTPPEP) and conform to the values in Table H.1.

The geotextile must be inert to commonly encountered chemicals and hydrocarbons and must be rot and mildew resistant. The geotextile must be manufactured from fibers consisting of long chain synthetic polymers and composed of a minimum of 95 percent by weight of polyolefins or polyesters, and formed into a stable network so the filaments or yarns retain their dimensional stability relative to each other, including selvages.

When more than one section of geotextile is necessary, overlap the sections by at least one foot. The geotextile must be pulled taut over the applied surface. Equipment must not run over exposed fabric. When placing riprap on geotextile, do not exceed a one foot drop height.



- PLANTING NOTES**
- ALL PLANTS SHALL BE NURSERY GROWN.
 - ALL PLANTS SHALL CONFORM TO THE STANDARDS OF AAN. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS. WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS, OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO BE HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
 - ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST.
 - OWNER OR HIS REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
 - ALL TREES SHALL BE WRAPPED IMMEDIATELY AFTER THEY ARE PLANTED. APPROVED TREE WRAP SHALL BE INSTALLED ACCORDING TO ACCEPTED INDUSTRY PRACTICE.
 - EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
 - MULCH: IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED ALL TREES AND SHRUB PLANTING PITS SHALL BE COVERED WITH A 3" LAYER OF SHREDDED HARDWOOD BARK MULCH OR OTHER MATERIAL APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THE LIMIT OF THIS MULCH FOR TREES SHALL BE THE AREA OF THE PIT AND FOR SHRUBS IN BEDS, THE ENTIRE AREA OF THE SHRUB BED.
 - TREES IN LEAF WHEN PLANTED SHALL BE TREATED WITH ANTI-DESICCANT SUCH AS WILT-PROOF.
 - CONDITIONS DETRIMENTAL TO PLANTS: THE CONTRACTOR SHALL NOTIFY THE PROJECT REPRESENTATIVE IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS. HE SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS, INCLUDING ANY CHANGE IN COST FOR REVIEW AND ACCEPTANCE BY THE PROJECT REPRESENTATIVE.
 - MINOR ADJUSTMENTS TO TREE LOCATION MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED.

STORM DRAIN "C" FACTOR DETERMINATION

TYPE	IMPERVIOUS				OPEN SPACE				COMMERCIAL				RESIDENTIAL (TOWNHOMES)				TOTALS
	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D	
SLOPE (AC)	ALL (AC)																
AREA ID																	
A	0.48							4.50								0.92	6.89

STORM DRAIN ANALYSIS TABULATION FORM

SITE: Town Of Chesapeake
 LOCATION: Storm Drain Extension I-1 To ES-2
 Storm Frequency: 20-YR Design Storm

Date: 15-Sep-23
 Sheet: 1
 Computed By: DJV
 Checked by:

LOCATION	From	To	CONTRIB. AREA ID	ACRES	COEFF. "C"	SUMP FACTOR	CA	Σ CA	TIME CONC. - MIN	INTEN "I"	Q = CIA C.F.S.	ACTUAL PIPE HYDRAULICS				DRAIN TIME SEC.	FRICTION		FULL FLOW C.F.S.	PIPE MAX. C.F.S.	SUMP	
												Size (in.)	Type	n	Slope (%)		Vel. (fps)	Lgth. (ft.)				Vel. (fps)
I-1	ES-2		A	6.89	6.89	0.47	1.10	3.56	3.56	10.0	23.0	18	HDPE	0.012	0.06%	1.6	389	13.0	4.09%	2.8	3.0	sump

CALVERT COUNTY DEPARTMENT OF PUBLIC WORKS

100 Skipjack Road, Building B
 Prince Frederick, Maryland 20678
 410-535-1600 • 301-555-1243
 Fax: 410-535-2129
 www.calvertcountymd.gov

Board of Commissioners
 Mark C. Cox, Sr.
 Catherine M. Grasso
 Earl E. Hance
 Mike Hart
 Todd Ireland

John Covogro, Jr. PE, Director
 James W. Ritter, Deputy Director, Enterprise Funds
 Tom Jones, Deputy Director, General Services

August 15, 2023

The Town of Chesapeake Beach
 Mr. Wayne Newton
 8200 Bayside Road
 Chesapeake Beach, MD 20732

RE: Variance Request - Storm Drain Modification

Mr. Newton,

Calvert County Public Works has received a request for a variance regarding a storm drain modification for Kellam's Park.

According to §104-46 H: The minimum slope of pipe shall not be less than 0.50 percent and the velocity in the pipe shall not be less than 2fps unless otherwise approved by the Engineering Division Chief. The maximum allowable slope for the storm drain pipe shall be 15 percent, beyond which designed anchors shall be provided at a maximum 15 feet spacing.

After careful consideration, Public Works has approved the variance regarding the storm drain modification for Kellam's Park due to the topography, tie-in location, and lack of vertical elevation across the site that was referenced in the variance request. If you have any further inquiries, please do not hesitate to contact our office.

Thank you,

Robert White
 Acting Engineering Division Chief

Mailing Address: 175 Main Street, Prince Frederick, Maryland 20678
 Maryland Relay for Impaired Hearing or Speech: 1-800-735-2258

REVISION	DESCRIPTION	BY	DATE

MESSICK & ASSOCIATES*

CONSULTING ENGINEERS,
 PLANNERS AND SURVEYORS

7 OLD SOLOMONS ISLAND ROAD, SUITE 202
 ANNAPOLIS, MARYLAND 21401
 (410) 266-3212 * FAX (410) 266-3502
 email: engr@messickandassociates.com

12/18/23

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21091. EXPIRATION DATE: 06/30/25

OWNER:

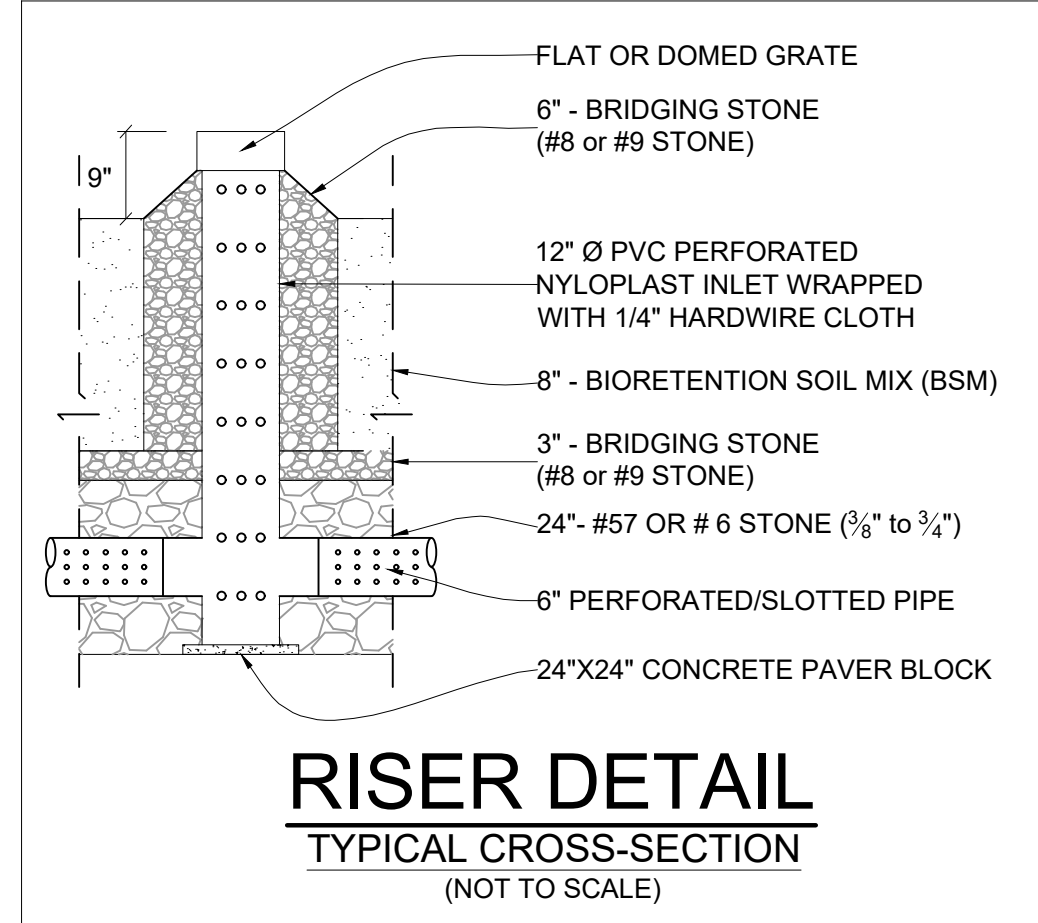
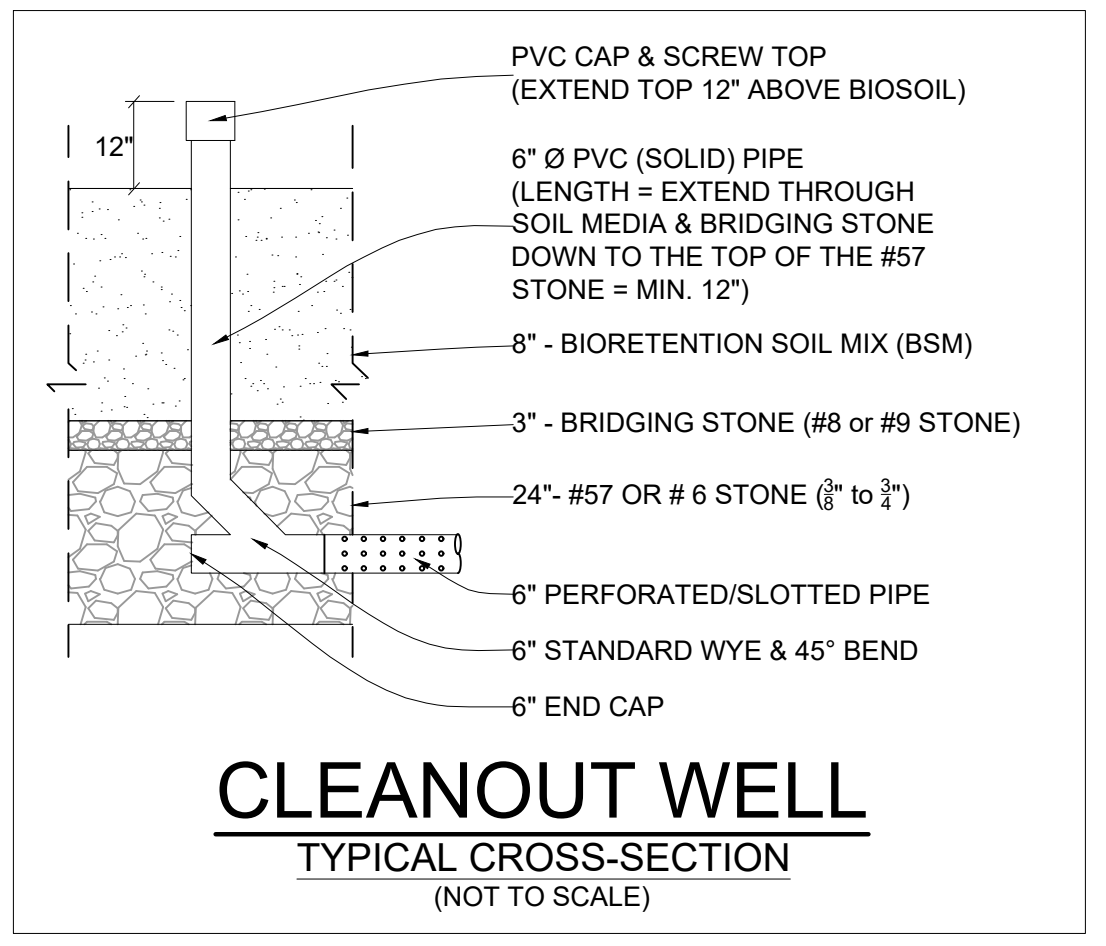
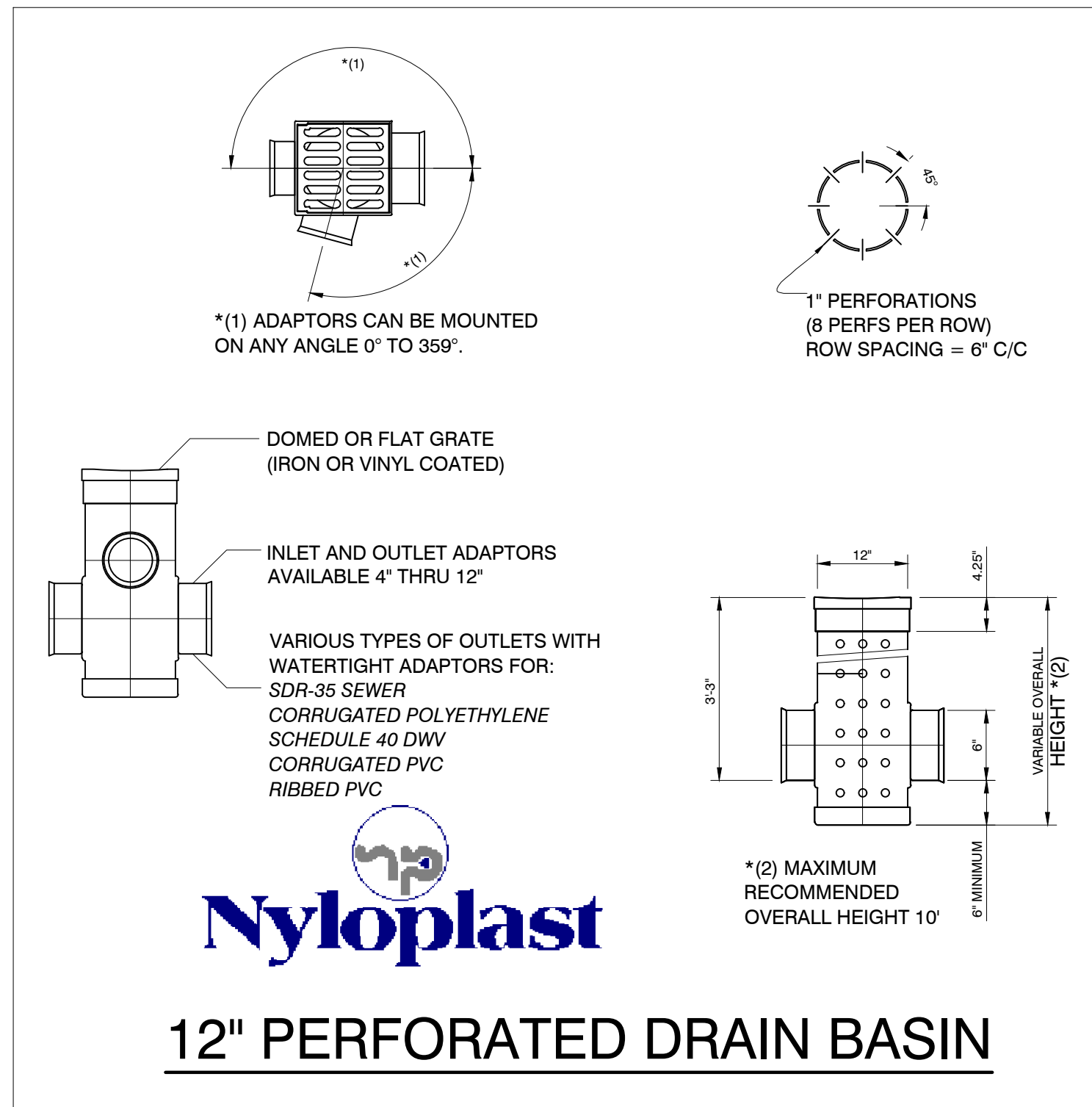
TOWN OF CHESAPEAKE BEACH
 P.O. BOX 400
 CHESAPEAKE BEACH, MD. 20732
 ATTN: HOLLY K. WAHL
 (410) 257-2230

DETAILS AND STORM DRAIN CALCULATIONS

KELLAM'S PARK TOT LOT & STORM DRAIN
 3915 GORDON STINNETT AVENUE
 CHESAPEAKE BEACH, MARYLAND 20732

A.A.S.C.D.# -

TAX MAP: 101 GRID: 019 PARCEL: 058 LOTS: --- ZONING: ---
 THIRD TAX ASSESSMENT DISTRICT CALVERT COUNTY, MARYLAND 20732
 SCALE: AS SHOWN DATE: JULY, 2023 SHEET 6 OF 7



Project: Kellams Park		Project Number:		Client: TOCB		Boring No. B-1		
Address, City, State: Chesapeake Beach, MD		3915 Gordon Stinnett Avenue		Drilling Contractor:		Drill Rig Type:		
Logged By: KHW		Started: 12/13/2023		Bit Type: Spoon Auger		Diameter:		
Drill Crew: Messick		Completed: 12/13/2023		Hammer Type:				
USA Ticket Number:		Backfilled:		Hammer Weight:		Hammer Drop:		
Groundwater Depth: 2.5		Elevation: 4.5		Total Depth of Boring: 8				
Depth (feet)	Sample Type	Sample Number	Blow Counts (blows/foot)	Graphic Log	Lithology	Dry Density (pcf)	Moisture Content (%)	Additional Test
0					Topsil W/Trace of Mulch			
0.5					Loamy Material W/ Minor Trace of Clay and Organics (Appears To Be Fill Material)			
5					Moist Silt /Loamy Material W/ Trace Of Clay (Minor Trace Of Gravel)			
1					Note: Groundwater encountered 2.5 feet below surface.			

Messick Group Boring Log: Sheet ___ of ___

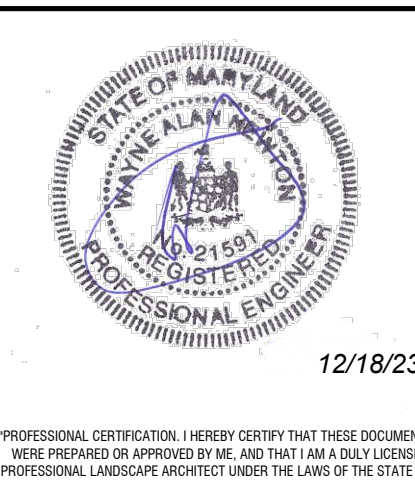
- Standard Penetration Silt Spoon Sampler (SPT)
- California Sampler
- Shelby Tube
- CPP Sampler
- Bulk/ Bag Sample
- Stabilized Groundwater
- Groundwater At time of Drilling

REVISION DESCRIPTION	BY	DATE

MESSICK & ASSOCIATES*

CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS

7 OLD SOLOMONS ISLAND ROAD, SUITE 202
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 * FAX (410) 266-3502
email: engr@messickandassociates.com



OWNER:

TOWN OF CHESAPEAKE BEACH
P.O. BOX 400
CHESAPEAKE BEACH, MD. 20732
ATTN: HOLLY K. WAHL
(410) 257-2230

DETAILS

KELLAM'S PARK TOT LOT & STORM DRAIN
3915 GORDON STINNETT AVENUE
CHESAPEAKE BEACH, MARYLAND 20732

A.A.S.C.D.# - - -

TAX MAP: 101 GRID: 019 PARCEL: 058 LOTS: --- ZONING: ---
THIRD TAX ASSESSMENT DISTRICT CALVERT COUNTY, MARYLAND 20732
SCALE: AS SHOWN DATE: JULY, 2023 SHEET 7 OF 7



To: The Honorable Mayor and Town Council

From: Holly Wahl, Town Administrator

Subject: Beach Elementary School Tennis Court MOU

Date: February 5, 2024

I. BACKGROUND:

The Board of Education (BOE) owns tennis courts that have historically been utilized by the community as open space when not in use by the school. Based on interest from the community, members of Town Council and the Board of Education, the Town Council was briefed during the July 2022 work session on a draft Memorandum of Understanding (MOU) with the Calvert County Board of Education pertaining to the tennis courts. The MOU provided a mechanism for the Town to make improvements to the Beach Elementary School tennis courts and to operate the courts (with restrictions) for the benefit of the public once the new school was completed.

Figure 1: The Beach Elementary School Tennis Court area prior to demolition of the old school.



II. MEMORANDUM OF UNDERSTANDING:

During the work session the Town Council conveyed concern over the restrictions and the limitations of operating hours that the courts could be used based on the improvements necessary for the courts to be functional. Considering this feedback, conversation has continued with County staff to facilitate communication with the Board of Education and to request changes to the Memorandum of Understanding (MOU) to decrease restrictions on use. Council Vice President Charlie Fink and Councilwoman Peggy Hartman have both provided input on the draft MOU in negotiating terms with the BOE to meet the needs of the Town Council.

Active conversations and coordination have occurred with BOE representatives since October of 2022 with comments, revisions, and discussion on terms. The new school construction has been the BOE's primary focus



and the tennis courts are within the site constructions Limit of Disturbance (LOD); therefore, work could not be completed on the courts until construction activity ceases.

A meeting was held on January 16, 2024, with BOE representatives, Mayor Pat Mahoney, the Town Administrator, and the Town Treasurer. Based on the meeting, we understand that the restrictions for hours that the court would be accessible will be limited during the school day and school year. This restriction is a requirement due to safety for students on campus during the school day and is non-negotiable.

However, with improvements from the Town, the court would be accessible in the evenings, on weekends and non-school days.

III. NEXT STEPS:

The BOE is making final revisions to the MOU, once received the document will be provided to the Town Council in a public meeting for review and comment. A follow-up meeting is set for February 6th between Town and County staff to discuss further.

#O-24-1
Passed _____
Effective _____

AN ORDINANCE
OF THE TOWN COUNCIL OF CHESAPEAKE BEACH, MARYLAND,
AMENDING THE ANNUAL BUDGET FOR THE GENERAL FUND OF
THE TOWN OF CHESAPEAKE BEACH FOR THE FISCAL YEAR JULY
1, 2022 TO JUNE 30, 2023 TO RECONCILE EXPENSES AND RATIFY
OVEREXPENDITURES.

WHEREAS, Chesapeake Beach, Maryland (the “Town”) is a municipal corporation of the State of Maryland, organized and operating under a Charter adopted in 1963, in accordance with Article XI-E of the Constitution of Maryland and the Local Government Article of the Annotated Code of Maryland; and

WHEREAS, pursuant to Md. Code Ann., Local Gov’t Art., § 5-205 and Section C-707 of the Charter of Chesapeake Beach, the Town is empowered to establish an annual budget; and

WHEREAS, pursuant to § 5-205(b) of the Local Government Article a municipality may not expend funds not appropriated in its annual budget for the purpose for which they are to be spent; and

WHEREAS, pursuant to § 5-205(b) of the Local Government Article, a municipality may amend an adopted budget to expend funds not previously appropriated upon a 2/3 vote of the legislative body; and

WHEREAS, after due notice and a public hearing, the Town Council adopted an annual budget for the General Fund on March 16, 2023; and

WHEREAS, after the adoption of the General Fund budget for Fiscal Year 2023, the Town Treasurer became aware that various expense accounts had inadequate funds to cover unbudgeted increases in costs related to legal counsel, SDAT fees, utilities, insurance, continuing education, trash removal, stipends, building maintenance, landscaping, tree trimming and recreation

operations and must be off-set with unexpended funds in office expense, snow and ice removal, engineering, payroll taxes and capital expenditures; and

WHEREAS, the Town Council wishes to ratify those expenditures and to amend the Fiscal Year 2023 General Fund budget to appropriate the necessary funds.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF CHESAPEAKE BEACH THAT:

Section 1. The adopted budget for the General Fund of the Town of Chesapeake Beach for the Fiscal Year 2023 is hereby amended as set forth in the attached Exhibit A hereto.

Section 2. In all other respects the budget for the General Fund, as adopted on March 16, 2023, shall remain as adopted and in full force and effect, subject to prior duly enacted amendments, with respect to revenues and expenditures for the Fiscal Year 2023.

AS CERTIFIED by their signatures below, the members of the Town Council affirm that this Ordinance was introduced at the Town Council meeting held on the 18th day of January, 2024, that a public hearing was held on the 15th day of February, 2024, and that a vote was taken in accordance with Section C-309 of the Town Charter. The vote of the Council was tallied and _____ votes of approval and _____ votes of disapproval were cast. The resulting affirmative vote of at least 2/3 the Council _____ (*approved/disapproved*) the passage of this Ordinance this 15th day of February 2024. If signed by the Mayor below, the Mayor approves this Ordinance pursuant to Section C-310 of the Charter. This Ordinance shall become effective at the expiration of twenty (20) calendar days from the date of the Mayor's approval or seven (7) days after the last required publication, whichever is later, pursuant to Section C-309 of the Charter, currently published in Volume II of the Municipal Charters of Maryland.

CHESAPEAKE BEACH, MARYLAND

Patrick J. Mahoney, Mayor

L. Charles Fink, Council Vice-President

Valerie L. Beaudin, Councilwoman

Margaret P. Hartman, Councilwoman

Lawrence P. Jaworski, Councilman

Gregory J. Morris, Councilman

Keith L. Pardieck, Councilman

FY23 Budget - Amended
General Fund
EXHIBIT A

		FY23		
		BUDGET	AMENDMENT	AMENDED BUDGET
LOCAL REVENUES				
100-410000	Real Estate Taxes	2,719,849		2,719,849
100-410100	Admission & Amusement Tax	1,729,285		1,729,285
100-410105	State A&A Tax Distributions	300,000		300,000
100-410115	Hotel Tax	100,000		100,000
100-410120	Operating Property Tax	64,614		64,614
100-410125	Penalties & Interest - Tax	3,000		3,000
100-410135	Traders License - County	800		800
100-410140	Permits, Fines & Penalties	50,000		50,000
100-410145	Interest on Savings & Investments	10,000		10,000
100-410165	Tower Site Rental	110,000		110,000
100-410170	Cable Franchise Fee	110,000		110,000
100-410175	Speed Cameras	90,000		90,000
100-410180	Ramp Fees	10,000		10,000
100-410230	Miscellaneous Income	5,000		5,000
FEDERAL & STATE REVENUES				
100-420100	State Income Taxes	1,200,000		1,200,000
100-420105	Highway User Revenues	370,852		370,852
100-420110	State Aid Police Protection	54,525		54,525
100-420150	Federal Grants	1,427,037		1,427,037
OTHER REVENUE SOURCES				
100-430130	Transfer In - GF Fund Balance	250,000		250,000
100-432200	Miscellaneous Grants	1,878,520		1,878,520
TOTAL REVENUES:		10,483,482	-	10,483,482
SALARIES, TAXES & BENEFITS				
100-6000-602000	Salaries and Wages	544,388		544,388
100-6000-602050	Payroll Taxes - GF	45,630	(99)	45,531
100-6000-602100	Medical and Life Insurance	158,548		158,548
100-6000-602300	Retirement	98,264		98,264
100-6000-602400	Continuing Education	40,000		40,000
CONTRACTED SERVICES & FEES				
100-6000-620400	Audit	26,000		26,000
100-6000-620600	Legal Counsel	80,000	50,248	130,248
100-6000-620800	SDAT Fees	11,558	11,558	23,116
100-6000-621100	Software Maintenance Agreement	65,000		65,000
100-6000-621200	Planning & Zoning	100,000		100,000
100-6000-621400	Engineering	110,000	(30,632)	79,368
100-6000-621600	IT Support	45,000		45,000
100-6000-622500	Town Hall - Building Maintenance	30,000	8,987	38,987
100-6000-623300	Printing & Publications	10,000		10,000
100-6000-623400	Library Rent - Grant	46,996		46,996
100-6000-623900	Professional Fees	11,000		11,000
100-6000-624500	Web Maintenance	5,000		5,000
100-6000-624700	Document Imaging	4,000		4,000
OTHER				
100-6000-631210	Legislative Education & Travel	29,500		29,500
100-6000-631220	Dues & Subscriptions	20,000		20,000
100-6000-631300	Grants to Local Organizations	17,500		17,500
100-6000-631305	Senator M. Miller Scholarship Fund	5,000		5,000
100-6000-632000	Miscellaneous Expense	5,000		5,000
100-6000-632300	Office Expense	60,000	(15,809)	44,191
100-6000-634101	Stipends - Council	18,000	49	18,049
100-6000-634102	Stipends - Mayor	18,000	50	18,050
100-6000-634200	Recreation Reserve Fund	100,000		100,000
100-6000-634250	Climate Change Reserve Fund	250,000		250,000

100-6000-634500	Town Hall Telephone	15,150		15,150
100-6000-635000	Town Hall Utilities	22,000	3,615	25,615
100-6000-636101	Special Events	140,100		140,100
100-6000-636201	Economic Development	44,000		44,000
100-6000-637010	Opioid Awareness Committee	3,000		3,000
100-6000-637020	Green Team	7,000		7,000
100-6000-637030	Rental Inspection Services	25,000		25,000
100-6000-780000	Insurance	75,000	703	75,703
100-6000-790000	Unspent Reimbursement - ARPA Funds	1,370,557		1,370,557
100-6000-800000	Uncollectable Debt	1,600,000		1,600,000
100-6450-602050	FICA - Legislative	3,000		3,000
PUBLIC SAFETY				
100-6450-645500	Police - Deputy in Residence	1,405,539		1,405,539
100-6450-646000	Bayfront Park & Town Beautification	60,500		60,500
100-6450-646500	North Beach VFD	50,000		50,000
PUBLIC WORKS - SALARIES, TAXES & BENEFITS				
100-6500-602000	Salaries and Wages	525,000		525,000
100-6500-602010	Recreation Operations - Salaries	82,000		82,000
100-6500-602050	FICA - PW	49,000		49,000
100-6500-602100	Medical and Life Insurance	170,000		170,000
100-6500-602300	Retirement	82,000		82,000
100-6500-602400	Continuing Education	10,000	1,960	11,960
PUBLIC WORKS - SUPPLIES				
100-6500-665200	Gasoline & Tolls	40,000		40,000
100-6500-665400	Equipment Repair & Maintenance	40,000		40,000
100-6500-665600	Supplies	15,000		15,000
PUBLIC WORKS - CONTRACTED SERVICES & FEES				
100-6500-672000	Holiday Lights	110,000		110,000
100-6500-673000	Road Repairs & Maintenance	20,000		20,000
100-6500-674000	Trash Removal Service	550,000	20,600	570,600
100-6500-675000	Recycle Bins	12,000		12,000
PUBLIC WORKS - OTHER				
100-6500-684300	CBOCS Oyster Program	6,900		6,900
100-6500-684900	PW - Miscellaneous Expense	2,000		2,000
100-6500-685200	Property Maintenance - General	65,000		65,000
100-6500-685220	Property Maintenance - Landscaping	150,000	41,034	191,034
100-6500-685240	Property Maintenance - Tree Trimming	20,000	8,845	28,845
100-6500-685500	Recreation Operations - General	125,000	625	125,625
100-6500-686000	Snow & Ice Removal	50,000	(47,689)	2,311
100-6500-686100	Storm Drain Inspection & Maintenance	20,000		20,000
100-6500-686500	Street Lights	63,000		63,000
100-6500-687000	Telephone	11,000		11,000
100-6500-687500	Utilities	8,000	5,446	13,446
CAPITAL EXPENDITURES				
100-7100-723100	Storm Drain Inspections	-		-
100-7100-725000	Capital Expenditures	1,482,352	(59,491)	1,422,861
100-8000-807000	DNR #7 Seawall \$25,150 (FY21)	-		-
TOTAL EXPENDITURES:		10,483,482	-	10,483,482
SURPLUS/DEFICIT:		-	-	-

#O-24-2
Passed _____
Effective _____

AN ORDINANCE
OF THE TOWN COUNCIL OF CHESAPEAKE BEACH, MARYLAND,
AMENDING THE ANNUAL BUDGET FOR THE WATER
RECLAMATION TREATMENT PLANT FUND OF THE TOWN OF
CHESAPEAKE BEACH FOR THE FISCAL YEAR JULY 1, 2022 TO
JUNE 30, 2023 TO RECONCILE EXPENSES AND RATIFY
OVEREXPENDITURES.

WHEREAS, Chesapeake Beach, Maryland (the “Town”) is a municipal corporation of the State of Maryland, organized and operating under a Charter adopted in 1963, in accordance with Article XI-E of the Constitution of Maryland and the Local Government Article of the Annotated Code of Maryland; and

WHEREAS, pursuant to Md. Code Ann., Local Gov’t Art., § 5-205 and Section C-707 of the Charter of Chesapeake Beach, the Town is empowered to establish an annual budget; and

WHEREAS, pursuant to § 5-205(b) of the Local Government Article a municipality may not expend funds not appropriated in its annual budget for the purpose for which they are to be spent; and

WHEREAS, pursuant to § 5-205(b) of the Local Government Article, a municipality may amend an adopted budget to expend funds not previously appropriated upon a 2/3 vote of the legislative body; and

WHEREAS, after due notice and a public hearing, the Town Council adopted an annual budget for the Treatment Plant Fund on March 16, 2023; and

WHEREAS, after the adoption of the Treatment Plant Fund budget for Fiscal Year 2023, the Town Treasurer became aware that various expense accounts had inadequate funds to cover unbudgeted increases in costs related to engineering and professional fees, insurance and utilities and must be off-set with unexpended funds in equipment purchases and chemicals expense; and

WHEREAS, the Town Council wishes to ratify those expenditures and to amend the Fiscal Year 2023 Treatment Plant Fund budget to appropriate the necessary funds.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF CHESAPEAKE BEACH THAT:

Section 1. The adopted budget for the Treatment Plant Fund of the Town of Chesapeake Beach for the Fiscal Year 2023 is hereby amended as set forth in the attached Exhibit A hereto.

Section 2. In all other respects the budget for the Treatment Plant Fund, as adopted on March 16, 2023, shall remain as adopted and in full force and effect, subject to prior duly enacted amendments, with respect to revenues and expenditures for the Fiscal Year 2023.

AS CERTIFIED by their signatures below, the members of the Town Council affirm that this Ordinance was introduced at the Town Council meeting held on the 18th day of January, 2024, that a public hearing was held on the 15th day of February, 2024, and that a vote was taken in accordance with Section C-309 of the Town Charter. The vote of the Council was tallied and _____ votes of approval and _____ votes of disapproval were cast. The resulting affirmative vote of at least 2/3 the Council _____ (*approved/disapproved*) the passage of this Ordinance this 15th day of February 2024. If signed by the Mayor below, the Mayor approves this Ordinance pursuant to Section C-310 of the Charter. This Ordinance shall become effective at the expiration of twenty (20) calendar days from the date of the Mayor's approval or seven (7) days after the last required publication, whichever is later, pursuant to Section C-309 of the Charter, currently published in Volume II of the Municipal Charters of Maryland.

CHESAPEAKE BEACH, MARYLAND

Patrick J. Mahoney, Mayor

L. Charles Fink, Council Vice-President

Valerie L. Beaudin, Councilwoman

Margaret P. Hartman, Councilwoman

Lawrence P. Jaworski, Councilman

Gregory J. Morris, Councilman

Keith L. Pardieck, Councilman

FY23 Budget - Amended
Treatment Plant
EXHIBIT A

		FY23		
		BUDGET	AMENDMENT	AMENDED BUDGET
FIXED REVENUES				
300-430010	Anne Arundel - Fixed - 10.44%	128,409		128,409
300-430020	Calvert County - Fixed - 21.81%	268,258		268,258
300-430030	Chesapeake Beach - Fixed - 49.66%	610,806		610,806
300-430040	North Beach - Fixed - 18.09%	222,503		222,503
-				
VARIABLE REVENUES				
300-431010	Anne Arundel - Variable - 12%	97,725		97,725
300-431020	Calvert County / NB - Variable - 37%	291,879		291,879
300-431030	Chesapeake Beach - Variable - 51%	421,396		421,396
-				
CAPITAL & OTHER REVENUE SOURCES				
300-432010	Capital - Anne Arundel	70,470		70,470
300-432020	Capital - Calvert County	147,218		147,218
300-432030	Capital - Chesapeake Beach	335,204		335,204
300-432040	Capital - North Beach	122,108		122,108
300-439030	Grants - Chesapeake Beach	-		-
TOTAL REVENUES:		2,715,976	-	2,715,976
FIXED COST				
300-6975-601000	Salaries and Wages	513,000		513,000
300-6975-610500	Plant Benefits	311,976		311,976
300-6975-621000	Administration - TCB	38,000		38,000
300-6975-621401	Engineering & Professional Fees	30,000	48,261	78,261
300-6975-621500	Safety	13,000		13,000
300-6975-622000	Telephone	6,000		6,000
300-6975-623000	Lab Analysis & Supplies	73,000		73,000
300-6975-626000	Equipment Repairs & Maintenance	80,000		80,000
300-6975-628000	Equipment Purchases	80,000	(55,086)	24,914
300-6975-628500	TP Office Expense	30,000		30,000
300-6975-780000	Insurance - Plant	55,000	14,460	69,460
VARIABLE COSTS				
300-6975-684601	Chemicals	315,000	(60,569)	254,431
300-6975-684701	Landfill Tipping Fees	246,000		246,000
300-6975-687501	Utilities	250,000	52,934	302,934
CAPITAL & OTHER				
300-6975-790000	Transfer Out - TP Reserves	-		-
300-6975-801000	Capital Projects	675,000		675,000
300-6975-820000	Depreciation	-		-
TOTAL EXPENSES:		2,715,976	-	2,715,976
SURPLUS/DEFICIT:		-	-	-

#O-24-3
Passed _____
Effective _____

AN ORDINANCE
OF THE TOWN COUNCIL OF CHESAPEAKE BEACH, MARYLAND,
AMENDING THE ANNUAL BUDGET FOR THE UTILITY FUND OF
THE TOWN OF CHESAPEAKE BEACH FOR THE FISCAL YEAR JULY
1, 2022 TO JUNE 30, 2023 TO RECONCILE EXPENSES AND RATIFY
OVEREXPENDITURES.

WHEREAS, Chesapeake Beach, Maryland (the “Town”) is a municipal corporation of the State of Maryland, organized and operating under a Charter adopted in 1963, in accordance with Article XI-E of the Constitution of Maryland and the Local Government Article of the Annotated Code of Maryland; and

WHEREAS, pursuant to Md. Code Ann., Local Gov’t Art., § 5-205 and Section C-707 of the Charter of Chesapeake Beach, the Town is empowered to establish an annual budget; and

WHEREAS, pursuant to § 5-205(b) of the Local Government Article a municipality may not expend funds not appropriated in its annual budget for the purpose for which they are to be spent; and

WHEREAS, pursuant to § 5-205(b) of the Local Government Article, a municipality may amend an adopted budget to expend funds not previously appropriated upon a 2/3 vote of the legislative body; and

WHEREAS, after due notice and a public hearing, the Town Council adopted an annual budget for the Utility Fund on April 11, 2023; and

WHEREAS, after the adoption of the Utility Fund budget for Fiscal Year 2023, the Town Treasurer became aware that various expense accounts had inadequate funds to cover unbudgeted increases in costs related to meters, water plant repairs and maintenance, pump station repairs, engineering and professional fees, safety, supplies, postage, banking fees, utilities and insurance and must be off-set with unexpended funds in connection fee reimbursement; and

WHEREAS, the Town Council wishes to ratify those expenditures and to amend the Fiscal Year 2023 Utility Fund budget to appropriate the necessary funds.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF CHESAPEAKE BEACH THAT:

Section 1. The adopted budget for the Utility Fund of the Town of Chesapeake Beach for the Fiscal Year 2023 is hereby amended as set forth in the attached Exhibit A hereto.

Section 2. In all other respects the budget for the Utility Fund, as adopted on April 11, 2023, shall remain as adopted and in full force and effect, subject to prior duly enacted amendments, with respect to revenues and expenditures for the Fiscal Year 2023.

AS CERTIFIED by their signatures below, the members of the Town Council affirm that this Ordinance was introduced at the Town Council meeting held on the 18th day of January, 2024, that a public hearing was held on the 15th day of February, 2024, and that a vote was taken in accordance with Section C-309 of the Town Charter. The vote of the Council was tallied and _____ votes of approval and _____ votes of disapproval were cast. The resulting affirmative vote of at least 2/3 the Council _____ (*approved/disapproved*) the passage of this Ordinance this 15th day of April 2024. If signed by the Mayor below, the Mayor approves this Ordinance pursuant to Section C-310 of the Charter. This Ordinance shall become effective at the expiration of twenty (20) calendar days from the date of the Mayor's approval or seven (7) days after the last required publication, whichever is later, pursuant to Section C-309 of the Charter, currently published in Volume II of the Municipal Charters of Maryland.

CHESAPEAKE BEACH, MARYLAND

Patrick J. Mahoney, Mayor

L. Charles Fink, Council Vice-President

Valerie L. Beaudin, Councilwoman

Margaret P. Hartman, Councilwoman

Lawrence P. Jaworski, Councilman

Gregory J. Morris, Councilman

Keith L. Pardieck, Councilman

FY23 Budget - Amended
Utility Fund
EXHIBIT A

		FY23		
		BUDGET	AMENDMENT	AMENDED BUDGET
REVENUES				
400-430130	Transfer In - General Fund	1,600,000		1,600,000
400-430140	Transfer In - Fund Reserves	425,184		425,184
400-430150	Transfer In - Fund Reserves - Restricted			-
400-440010	Sewer Usage Charges	783,480		783,480
400-440020	Sewer Miscellaneous Income	1,000		1,000
400-440040	Sewer Penalties & Interest	2,000		2,000
400-441010	Water Usage Charges	348,380		348,380
400-441020	Miscellaneous Fees	2,000		2,000
400-441030	Water Penalties and Interest	2,000		2,000
400-450000	Investment Interest	1,500		1,500
400-460000	Fixed Fee	562,898		562,898
400-460050	Infrastructure Fees	18,000		18,000
400-460100	Sewer Capital Connection Fee	360,000		360,000
400-460200	Water Capital Connection Fee	120,000		120,000
400-460600	Treatment Plant ENR (45.34%) MDE	-		-
* 400-461000	Tower Site Rental	-		-
	TOTAL REVENUES:	4,226,442	-	4,226,442
EXPENSES				
400-6700-625300	Interest Expense - Sewer	-		-
400-6700-820100	Depreciation - Sewer	-		-
* 400-6850-601000	Salaries & Wages	-		-
* 400-6850-602400	Continuing Education	-		-
* 400-6850-610500	Taxes & Benefits	-		-
400-6850-662200	Meter Repairs & Maintenance	-		-
400-6850-662300	Meters - MXU's	43,000	5,220	48,220
400-6850-715100	Water Plant Repairs & Maintenance	30,000	45,455	75,455
400-6850-715500	Water Testing	13,000		13,000
400-6850-719200	Principal - DHCD 2010 Bond	-		-
400-6850-820400	Depreciation - Water	-		-
400-6900-621400	Engineering & Professional Fees	6,000	1,464	7,464
400-6900-621501	Safety	7,500	6,540	14,040
400-6900-625300	Interest & Administrative Expense - LT Debt	70,948		70,948
400-6900-626001	Pump Station Repair	50,000	12,662	62,662
400-6900-630500	Supplies	30,000	2,658	32,658
400-6900-631500	Postage	4,500	894	5,394
400-6900-632400	Miss Utility Fees	1,500		1,500
400-6900-632500	Line Repairs & Maintenance	95,000		95,000
400-6900-632800	Banking Fees	8,000	10,898	18,898
400-6900-670000	TPF Fixed / Capital Costs	946,010		946,010
400-6900-670100	TPF Variable	421,395		421,395
400-6900-687500	Utilities	70,000	32,609	102,609
400-6900-717600	Miscellaneous	500		500
400-6900-780000	Insurance	15,002	3,151	18,153
* 400-6900-801000	Capital Projects	400,000		400,000
400-6900-802000	Transfer In - UF Restricted	1,200,000		1,200,000
400-6900-840500	Connection Fee Reimbursement	300,000	(121,552)	178,448
DEBT SERVICE				
400-6900-719300	Principal - 2014 - ENR	190,427		190,427
400-6900-748100	Principal - 2008 SRF Loan	287,098		287,098
400-6900-748300	Principal - ARRA Loan (2009)	36,562		36,562
	TOTAL EXPENSES:	4,226,442	-	4,226,442
SURPLUS/DEFICIT:		-	-	-

#O-24-4
Passed _____
Effective _____

AN ORDINANCE
OF THE TOWN COUNCIL OF CHESAPEAKE BEACH, MARYLAND,
AMENDING THE ANNUAL BUDGET FOR THE WATER PARK FUND
OF THE TOWN OF CHESAPEAKE BEACH FOR THE FISCAL YEAR
JULY 1, 2022 TO JUNE 30, 2023 TO RECONCILE EXPENSES AND
RATIFY OVEREXPENDITURES.

WHEREAS, Chesapeake Beach, Maryland (the “Town”) is a municipal corporation of the State of Maryland, organized and operating under a Charter adopted in 1963, in accordance with Article XI-E of the Constitution of Maryland and the Local Government Article of the Annotated Code of Maryland; and

WHEREAS, pursuant to Md. Code Ann., Local Gov’t Art., § 5-205 and Section C-707 of the Charter of Chesapeake Beach, the Town is empowered to establish an annual budget; and

WHEREAS, pursuant to § 5-205(b) of the Local Government Article a municipality may not expend funds not appropriated in its annual budget for the purpose for which they are to be spent; and

WHEREAS, pursuant to § 5-205(b) of the Local Government Article, a municipality may amend an adopted budget to expend funds not previously appropriated upon a 2/3 vote of the legislative body; and

WHEREAS, after due notice and a public hearing, the Town Council adopted an annual budget for the Water Park Fund on April 11, 2023; and

WHEREAS, after the adoption of the Water Park Fund budget for Fiscal Year 2023, the Town Treasurer became aware that various expense accounts had inadequate funds to cover unbudgeted increases in costs related to cost of goods sold, pool supplies, professional fees, education and travel, landscaping, utilities and insurance and must be off-set with unexpended funds in bank and credit card charges and capital repairs; and

WHEREAS, the Town Council wishes to ratify those expenditures and to amend the Fiscal Year 2023 Water Park Fund budget to appropriate the necessary funds.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF CHESAPEAKE BEACH THAT:

Section 1. The adopted budget for the Water Park Fund of the Town of Chesapeake Beach for the Fiscal Year 2023 is hereby amended as set forth in the attached Exhibit A hereto.

Section 2. In all other respects the budget for the Water Park Fund, as adopted on April 11, 2023, shall remain as adopted and in full force and effect, subject to prior duly enacted amendments, with respect to revenues and expenditures for the Fiscal Year 2023.

AS CERTIFIED by their signatures below, the members of the Town Council affirm that this Ordinance was introduced at the Town Council meeting held on the 18th day of January, 2024, that a public hearing was held on the 15th day of February, 2024, and that a vote was taken in accordance with Section C-309 of the Town Charter. The vote of the Council was tallied and _____ votes of approval and _____ votes of disapproval were cast. The resulting affirmative vote of at least 2/3 the Council _____ (*approved/disapproved*) the passage of this Ordinance this 15th day of February 2024. If signed by the Mayor below, the Mayor approves this Ordinance pursuant to Section C-310 of the Charter. This Ordinance shall become effective at the expiration of twenty (20) calendar days from the date of the Mayor's approval or seven (7) days after the last required publication, whichever is later, pursuant to Section C-309 of the Charter, currently published in Volume II of the Municipal Charters of Maryland.

CHESAPEAKE BEACH, MARYLAND

Patrick J. Mahoney, Mayor

L. Charles Fink, Council Vice-President

Valerie L. Beaudin, Councilwoman

Margaret P. Hartman, Councilwoman

Lawrence P. Jaworski, Councilman

Gregory J. Morris, Councilman

Keith L. Pardieck, Councilman

FY23 Budget - Amended

Water Park

EXHIBIT A

		FY23		
		BUDGET	AMENDMENT	AMENDED BUDGET
REVENUES				
500-430130	Reserves Allocation	311,858		311,858
500-450110	Parties	17,500		17,500
500-450120	Daily Admissions	717,500		717,500
500-450130	Group Events	12,000		12,000
500-450135	Miscellaneous Income	500		500
500-450160	Rentals - Cabanas and Lockers	45,000		45,000
500-450165	Rentals - Pavilions	1,000		1,000
500-450170	Retail Store Sales	260,000		260,000
500-450175	Season Passes	130,000		130,000
500-450190	Swim Lessons	13,000		13,000
500-495000	Investment Interest	1,000		1,000
	TOTAL REVENUES:	1,509,358	-	1,509,358
COST OF GOODS SOLD				
500-6925-542500	Cost of Goods Sold	103,174	3,533	106,707
EXPENSES				
500-6925-602000	Salaries and Wages	479,120		479,120
500-6925-602010	Administration - TCB	240,000		240,000
500-6925-602050	FICA	56,856		56,856
500-6925-602100	Medical and Life Insurance	73,583		73,583
500-6925-602300	Retirement	42,525		42,525
500-6925-623900	Professional Fees	50,000	43,050	93,050
500-6925-632800	Bank & Credit Card Fees	70,000	(37,955)	32,045
500-6925-633000	Marketing	25,000		25,000
500-6925-637000	Education & Travel	15,000	8,764	23,764
500-6925-665603	Pool Supplies	38,000	5,433	43,433
500-6925-684600	Chemicals	48,000		48,000
500-6925-685200	Repairs & Maintenance	75,000		75,000
500-6925-685220	Landscape Maintenance	8,600	4,675	13,275
500-6925-687500	Utilities	70,000	15,560	85,560
500-6925-741000	Capital Repairs	69,500	(48,744)	20,756
500-6925-780000	Insurance	45,000	5,683	50,683
500-6925-820000	Depreciation	-		-
	TOTAL EXPENSES:	1,509,358	-	1,509,357
	SURPLUS/DEFICIT:	-		-

Budget Overages
FY23 Budget

OFFSETTING ACCOUNT
FY23 OVERAGES

FUND	ACCOUNT	ACCOUNT DESCRIPTION	FY23 ORIG. BUDGET	FY23 ACTUALS	AMENDMENT	EXPLANATION
General Fund						
GF1	100-6000-620600	Legal Counsel	80,000	130,248	50,248	Increase in costs to provide legal representation for the Town Council, Ethics Commission, Board of Appeals
GF2	100-6000-620800	SDAT Fees	11,558	23,116	11,558	Timing of payment - no payments were made in FY22, and therefore double payment occurred in FY23.
GF3	100-6000-635000	Town Hall Utilities	22,000	25,615	3,615	Increase in utility costs across all funds.
GF4	100-6000-780000	Insurance	75,000	75,703	703	Increase in insurance premiums due to overall increased cost for coverage, material and wage calculations.
GF5	100-6500-602400	Continuing Education	10,000	11,960	1,960	Increased costs for attendance at conferences for Public Works staff to maintain licensure and stay up to date on current technology and training.
GF6	100-6500-674000	Trash Removal Service	550,000	570,600	20,600	The Town Council amended the contract for trash services in September 2022 to account for the CPI index.
GF7	100-6500-687500	Utilities	8,000	13,446	5,446	Increase in utility costs across all funds.
OFFSET	100-6000-632300	Office Expense	60,000.00	44,191.00	(15,809)	This fund was used as a offset for expenses in other line items.
OFFSET	100-6500-686000	Snow & Ice Removal	50,000.00	2,312.00	(47,688)	This fund was used as a offset for expenses in other line items.
OFFSET	100-6000-621400	Engineering	110,000.00	63,905.14	(30,632)	This fund was used as a offset for expenses in other line items.
GF9	100-6000-634101	Stipends - Council	18,000	18,049	49	
GF10	100-6000-634102	Stipends - Mayor	18,000	18,050	50	Timing of pay periods overlapping fiscal years. FY22 expense accounts for stipends were under budget by a comparable amount.
OFFSET	100-6000-602050	Payroll Taxes - GF	45,630	42,037	(99)	
GF11	100-6000-622500	Town Hall - Building Maintenance	30,000	38,987	8,987	The Town Council approved a contract for cleaning services that began in May of 2022 with increased costs of service.
GF12	100-6500-685220	Property Maintenance - Landscaping	150,000	191,034	41,034	The Town Council approved a contract for landscaping that increased services and increased costs effective May of 2022.
GF13	100-6500-685240	Property Maintenance - Tree Trimming	20,000	28,845	8,845	Increased average cost in tree trimming, as well as number of dangerous trees requiring removal (19th St., B St., Cox's Rd.)
GF14	100-6500-685500	Recreation Operations - General	125,000	125,625	625	Clean & seal at Veteran's Park due to deterioration - a one time cost
OFFSET	100-7100-725000	Capital Expenditures	1,482,352	795,107	(59,491)	This fund was used as a offset for expenses in other line items.
Treatment Plant						
TP1	300-6975-621401	Engineering & Professional Fees	30,000	78,261	48,261	Payments made to the Maryland Department of Environment (MDE) as approved by Town Council.
TP2	300-6975-687501	Utilities	250,000	302,934	52,934	Increase in utility costs across all funds.
TP3	300-6975-780000	Insurance - Plant	55,000	69,460	14,460	Increase in insurance premiums due to overall increased cost for coverage, material and wage calculations.
OFFSET	300-6975-628000	Equipment Purchases	80,000.00	24,914.07	(55,086)	This fund was used as a offset for expenses in other line items.
OFFSET	300-6975-684601	Chemicals	315,000.00	248,761.02	(60,569)	This fund was used as a offset for expenses in other line items.
Utility Fund						
UF1	400-6850-662300	Meters - MXU's	43,000	48,220	5,220	Timing of receiving meters - FY22 line item was \$30k under budget due to availability of meters.
UF2	400-6850-715100	Water Plant Repairs & Maintenance	30,000	75,455	45,455	Emergency repairs to the water tower pump as approved by the Town Council.
UF3	400-6900-626001	Pump Station Repair	50,000	62,662	12,662	Increase in pump repairs needed - Mears Ave. due to the pump being out of service in October 2022, requiring immediate \$12k repairs.
UF4	400-6900-621400	Engineering & Professional Fees	6,000	7,464	1,464	Engineering fees related to the Old Bayside Road water tower - non recurring cost.
UF5	400-6900-621501	Safety	7,500	14,040	6,540	Increased OSHA Training Sessions for staff- FY24 budget was increased to reflect additional training costs.
UF6	400-6900-630500	Supplies	30,000	32,658	2,658	Increase in chemical costs and office expense to print and scan at the Public Works facility.
UF7	400-6900-631500	Postage	4,500	5,394	894	Increase in postage rates required to mail the quarterly bills and late notices.
UF8	400-6900-632800	Banking Fees	8,000	18,898	10,898	Increase in online payment processing - increase accounted for in the FY24 budget.
UF9	400-6900-687500	Utilities	70,000	102,609	32,609	Increase in utility costs across all funds - increase accounted for in the FY24 budgets.
UF10	400-6900-780000	Insurance	15,002	18,153	3,151	Increase in insurance premiums due to overall increased cost for coverage, material and wage calculations.
OFFSET	400-6900-840500	Connection Fee Reimbursement	300,000	-	(121,552)	This fund was used as a offset for expenses in other line items.
Water Park Fund						
WP1	500-6925-542500	Cost of Goods Sold	103,174	106,707	3,533	Increase in product and delivery costs due to inflation - incurred in season 2022 & season 2023
WP2	500-6925-665603	Pool Supplies	38,000	43,433	5,433	Inflation in product costs & timing of season - incurred in season 2022 & season 2023, cost of employee uniforms
WP3	500-6925-623900	Professional Fees	50,000	93,050	43,050	Increase in IT support, online transaction processing and new cleaning contract as approved by Town Council
WP4	500-6925-637000	Education & Travel	15,000	23,764	8,764	Timing of lifeguard training - FY23 reflects season 2022 & season 2023
WP5	500-6925-685220	Landscape Maintenance	8,600	13,275	4,675	Increase in new landscaping contract - as approved by Town Council with services beginning in May 2023.
WP6	500-6925-687500	Utilities	70,000	85,560	15,560	Increase in utility costs across all funds - increase accounted for in the FY24 budgets.
WP7	500-6925-780000	Insurance	45,000	50,683	5,683	Increase in insurance premiums due to overall increased cost for coverage, material and wage calculations.
OFFSET	500-6925-632800	Bank & Credit Card Charge	70,000.00	32,045	(37,955)	This fund was used as a offset for expenses in other line items.
OFFSET	500-6925-741000	Capital Repairs	69,500	12,319	(48,744)	This fund was used as a offset for expenses in other line items.

(0) Net Change in Budget

FY25 Budget
Mitigation Fund

		FY21		FY22		FY23		FY24	FY25
		BUDGET	ACTUALS	BUDGET	ACTUALS	BUDGET	ACTUALS	BUDGET	BUDGET
200-410145	Interest Income	1,000	92	125	100	50	2,879	200	200
200-430135	Prior Year Reserves	88,435	-	91,769	-	91,802	-	20,500	20,500
200-435100	Critical Area Grant	1,900	-	1,900	2,000	2,000	2,000	2,000	2,000
TOTAL REVENUES:		91,335	92	93,794	2,100	93,852	4,879	22,700	22,700
200-6400-632800	Bank Service Charges	250	20	125	40	125	21	100	100
200-6400-634300	Trees & Plantings	-	-	-	-	17,800	14,314	22,600	22,600
TOTAL EXPENDITURES:		250	20	125	40	17,925	14,335	22,700	22,700
SURPLUS/DEFICIT:		91,085	72	93,669	2,060	75,927	(9,456)	-	-

FY25 Budget
Treatment Plant

		FY21		FY22		FY23		FY24	FY25
		BUDGET	ACTUALS	BUDGET	ACTUALS	BUDGET	ACTUALS	BUDGET	BUDGET
FIXED REVENUES									
300-430010	Anne Arundel - Fixed - 10.44%	127,060	110,071	120,038	99,163	128,409	108,125	204,586	148,905
300-430020	Calvert County - Fixed - 21.81%	245,354	229,947	250,769	207,159	268,258	225,881	427,397	311,074
300-430030	Chesapeake Beach - Fixed - 49.66%	558,657	523,576	570,984	471,688	610,806	514,317	973,155	708,295
300-430040	North Beach - Fixed - 18.09%	203,506	167,957	207,997	171,825	222,503	210,172	354,498	258,016
VARIABLE REVENUES									
300-431010	Anne Arundel - Variable - 12%	82,856	93,257	87,843	66,848	97,725	96,362	119,976	111,118
300-431020	Calvert County / NB - Variable - 37%	266,782	340,261	262,217	234,320	291,879	287,759	369,926	342,614
300-431030	Chesapeake Beach - Variable - 51%	325,905	386,069	378,663	286,247	421,396	413,732	509,898	472,253
CAPITAL & OTHER REVENUE SOURCES									
300-432010	Capital - Anne Arundel	30,862	5,070	41,238	7,474	70,470	57,927	73,393	66,002
300-432020	Capital - Calvert County	59,453	10,591	86,150	15,614	147,218	121,013	153,324	137,883
300-432030	Capital - Chesapeake Beach	135,372	120,316	196,156	35,552	335,204	275,539	349,110	313,951
300-432040	Capital - North Beach	49,313	8,785	71,456	12,951	122,108	100,373	127,173	114,365
300-439030	Grants - Chesapeake Beach	-	-	-	368,000	-	40,113	-	-
300-490000	Interest & Penalties	-	-	-	-	-	-	-	-
TOTAL REVENUES:		2,085,120	1,995,901	2,273,511	1,976,840	2,715,976	2,451,313	3,662,436	2,984,474
FIXED COST									
300-6975-601000	Salaries and Wages	483,418	444,795	488,252	430,353	513,000	449,607	496,425	508,117
300-6975-610500	Plant Benefits & Taxes	285,692	201,053	299,977	204,755	311,976	232,489	334,795	369,972
300-6975-621000	Administration - TCB	24,815	21,045	25,559	24,527	38,000	37,636	75,929	98,445
300-6975-621401	Engineering & Professional Fees	25,000	24,999	30,000	9,733	30,000	78,261	52,000	75,000
300-6975-621500	Safety	20,000	19,999	10,000	7,680	13,000	12,989	16,000	16,000
300-6975-622000	Telephone	6,000	6,000	6,000	2,391	6,000	3,776	6,000	7,000
300-6975-623000	Lab Analysis & Supplies	70,000	70,000	70,000	54,094	73,000	60,786	80,000	103,650
300-6975-626000	Equipment Repairs & Maintenance	70,000	68,684	70,000	61,446	80,000	77,032	80,000	92,200
300-6975-628000	Equipment Purchases	75,000	70,947	75,000	63,293	80,000	24,914	-	-
300-6975-628500	TP Office Expense	25,000	25,000	25,000	24,516	30,000	28,323	23,000	23,000
300-6975-780000	Insurance - Plant	49,652	44,833	50,000	49,913	55,000	69,460	63,000	122,000
VARIABLE COSTS									
300-6975-684601	Chemicals	150,000	149,999	150,000	145,459	315,000	248,761	315,000	330,985
300-6975-684701	Landfill Tipping Fees	225,543	225,543	228,723	220,490	246,000	244,556	295,000	295,000
300-6975-687501	Utilities	300,000	299,999	350,000	221,466	250,000	302,934	389,800	300,000

CAPITAL & OTHER									
300-6975-790000	Transfer Out - TP Reserves	-	-	-	-	-	-	732,487	10,905
300-6975-801000	Capital Projects	275,000	149,080	395,000	28,631	675,000	40,512	703,000	632,200
300-6975-820000	Depreciation	-	-	-	97,840	-	101,136	-	-
TOTAL EXPENSES:		2,085,120	1,821,977	2,273,511	1,646,587	2,715,976	2,013,169	3,662,436	2,984,474
SURPLUS/DEFICIT:		-	173,924	-	330,253	-	438,144	-	-

Capital Budget - TP
 FY25 - FY29

<i>PROJECT</i>	<i>FUND</i>	BUDGET YEAR				
		FY25	FY26	FY27	FY28	FY29
Equipment Purchases	TP	100,000	80,000	80,000	80,000	80,000
Headworks Improvement Project	TP	-	1,600,000	1,600,000	-	-
Upgrade Plant Site Lighting - LED	TP	75,000	-	-	-	-
Replacement of Plant Enclosure Cooling Units - HVAC	TP	110,000	-	-	-	-
Build Inventory Spare Parts	TP	25,000	25,000	25,000	25,000	25,000
Clean SPT Tank	TP	-	20,000	-	-	-
Flow Meter for SPT Decant	TP	17,000	-	-	-	-
Flow Meter for SPT Influent	TP	5,200	-	-	-	-
Replace Old Siemens Influent and SPT Control System with A & B	TP	180,000	-	-	-	-
Repair Basin Mixers and Clean Basins	TP	-	60,000	-	-	-
Ladder Systems - SPT Entry	TP	-	-	-	40,000	-
Filter Media Replacement	TP	-	-	-	-	1,000,000
Replace 3 Return Activated Sludge Pumps	TP	120,000	-	-	-	-
VFD on Blower - Aeration Basins	TP	-	250,000	-	-	-
Repair Air Mixers - SPT	TP	-	-	20,000	-	-
TOTAL CAPITAL EXPENDITURES		632,200	2,035,000	1,725,000	145,000	1,105,000

FY25 Budget
General Fund

	FY21		FY22		FY23		FY24	FY25	
	BUDGET	ACTUALS	BUDGET	ACTUALS	BUDGET	ACTUALS	BUDGET	BUDGET	
LOCAL REVENUES									
100-410000	Real Estate Taxes	2,684,296	2,662,372	2,719,849	2,762,501	2,719,849	2,856,312	2,747,047	2,856,312
100-410100	Admission & Amusement Tax	1,441,654	1,931,100	1,314,340	2,010,767	1,729,285	1,946,700	1,809,690	1,576,827
100-410105	State A&A Tax Distributions	-	-	300,000	600,000	300,000	300,000	300,000	300,000
100-410115	Hotel Tax	100,000	98,383	105,000	90,182	100,000	124,843	100,000	100,000
100-410120	Operating Property Tax	55,846	62,136	61,536	64,614	64,614	67,053	65,680	70,227
100-410125	Penalties & Interest - Tax	3,000	5,035	3,000	10,479	3,000	15,826	10,238	6,700
100-410130	Liquor License	3,000	-	-	-	-	-	-	-
100-410135	Traders License - County	600	3,229	860	2,650	800	3,103	800	1,000
100-410140	Permits, Fines & Penalties	19,000	78,960	50,000	60,015	50,000	31,770	20,000	30,000
100-410145	Interest on Savings & Investments	120,000	7,210	15,000	11,210	10,000	434,408	31,818	100,000
100-410150	Sale of Veterans Park Bricks	-	300	-	200	-	100	-	-
100-410160	Bayfront Park Admissions	50,000	-	-	-	-	-	-	-
100-410165	Tower Site Rental	110,000	115,986	110,000	126,626	110,000	121,526	-	-
100-410170	Cable Franchise Fee	100,000	111,817	110,000	113,987	110,000	110,311	110,000	100,000
100-410175	Speed Cameras	50,000	83,140	100,000	42,828	90,000	41,456	50,000	40,000
100-410180	Ramp Fees	-	-	10,000	5,075	10,000	19,135	-	-
100-410230	Miscellaneous Income	5,000	64	5,000	2,369	5,000	138,769	2,000	2,000
FEDERAL & STATE REVENUES									
100-420100	State Income Taxes	1,000,000	1,147,111	1,200,000	1,222,669	1,200,000	1,359,072	1,137,582	1,312,908
100-420105	Highway User Revenues	363,112	334,310	338,013	430,002	370,852	425,278	462,808	539,635
100-420110	State Aid Police Protection	57,864	55,885	56,608	58,329	54,525	65,613	65,613	63,250
100-420115	State DNR - Critical Area Grant	2,800	1,900	-	-	-	-	-	-
100-420150	Federal Grants	-	-	-	2,080,775	2,970,557	1,374,761	2,435,527	866,154
OTHER REVENUE SOURCES									
100-430130	Transfer In - GF Fund Balance	-	-	-	-	250,000	-	1,907,811	2,713,164
100-432200	Miscellaneous Grants	50,000	-	190,000	868,113	335,000	98,337	1,085,000	310,000
100-490000	Scrap Metal	-	-	-	672	-	468	-	-
TOTAL REVENUES:		6,216,172	6,698,938	6,689,206	10,564,063	10,483,482	9,534,841	12,341,614	10,988,177
SALARIES, TAXES & BENEFITS									
100-6000-602000	Salaries and Wages	508,204	476,673	548,450	539,085	544,388	521,140	472,835	525,177
100-6000-602050	Payroll Taxes - GF	42,597	39,811	43,875	42,188	45,630	42,037	36,881	43,327
100-6000-602100	Medical and Life Insurance	122,639	91,100	150,998	109,735	158,548	107,922	104,024	115,539
100-6000-602300	Retirement	86,481	86,463	94,485	96,728	98,264	88,264	85,110	94,532
100-6000-602400	Continuing Education	20,000	5,211	20,000	19,254	40,000	50,881	40,000	44,000
CONTRACTED SERVICES & FEES									
100-6000-620400	Audit	35,068	34,300	26,000	23,000	26,000	26,000	26,000	30,000
100-6000-620600	Legal Counsel	66,000	47,917	80,000	64,561	80,000	130,248	110,000	130,000
100-6000-620800	SDAT Fees	11,558	11,558	11,558	-	11,558	23,116	11,558	11,558
100-6000-621100	Software Maintenance Agreement	45,000	39,879	45,000	44,456	65,000	44,666	54,500	30,000
100-6000-621200	Planning & Zoning	90,000	70,955	90,000	91,111	100,000	93,198	100,000	55,000
100-6000-621400	Engineering	80,000	80,000	100,000	79,215	110,000	63,905	110,000	110,000
100-6000-621600	IT Support	30,000	29,865	30,000	37,615	45,000	22,476	30,000	30,000

100-6000-622500	Town Hall - Building Maintenance	40,000	9,150	30,000	15,359	30,000	38,987	40,000	42,000	
100-6000-623300	Printing & Publications	10,000	4,524	10,000	-	10,000	-	15,000	15,000	
100-6000-623400	Library Rent - Grant	43,168	35,858	45,627	40,181	46,996	41,983	43,460	-	
100-6000-623900	Professional Fees	11,000	5,076	11,000	8,238	11,000	3,240	8,000	8,000	
100-6000-624500	Web Maintenance	5,000	4,499	5,000	2,363	5,000	620	3,000	3,000	
100-6000-624700	Document Imaging	4,000	1,044	4,000	2,778	4,000	2,862	3,000	3,000	
OTHER										
100-6000-631001	Board of Elections	6,000	16,072	-	-	-	-	-	17,000	
100-6000-631210	Legislative Education & Travel	29,500	3,299	20,000	27,111	29,500	23,292	29,500	29,500	
100-6000-631220	Dues & Subscriptions	12,000	9,962	18,000	12,035	20,000	9,212	15,000	15,000	
100-6000-631300	Grants to Local Organizations	17,500	14,500	17,500	13,500	17,500	16,537	17,500	17,500	
100-6000-631305	Senator M. Miller Scholarship Fund	-	-	5,000	5,000	5,000	-	5,000	5,000	
100-6000-632000	Miscellaneous Expense	5,000	2,636	5,000	202	5,000	(769)	5,000	5,000	
100-6000-632300	Office Expense	57,000	31,477	60,000	50,078	60,000	44,191	50,000	50,000	
100-6000-634101	Stipends - Council	18,000	18,187	18,000	17,922	18,000	18,049	18,000	18,000	
100-6000-634102	Stipends - Mayor	18,000	18,762	18,000	17,990	18,000	18,050	18,000	18,000	
100-6000-634200	Recreation Reserve Fund	2,754	2,754	100,000	-	100,000	-	-	-	
100-6000-634250	Climate Change Reserve Fund	-	-	-	-	250,000	-	-	-	
100-6000-634500	Town Hall Telephone	15,150	7,129	15,150	8,056	15,150	7,777	10,000	12,000	
100-6000-635000	Town Hall Utilities	20,000	19,487	22,000	23,851	22,000	25,615	31,000	31,000	
100-6000-636101	Special Events	140,000	17,827	128,100	42,433	140,100	117,145	162,050	190,400	
100-6000-636201	Economic Development	44,000	17,815	44,000	24,016	44,000	16,264	44,000	44,000	
100-6000-636203	Economic Development Merchandise	-	(266)	-	(163)	-	-	-	-	
100-6000-637010	Opioid Awareness Committee	3,000	900	3,000	120	3,000	1,421	3,000	3,000	
100-6000-637020	Green Team	7,000	2,360	7,000	5,505	7,000	5,326	7,000	7,000	
100-6000-637030	Rental Inspection Services	10,000	25,073	20,000	29,025	25,000	16,754	20,000	30,000	
100-6000-780000	Insurance	63,626	152,888	75,000	62,064	75,000	75,703	75,000	80,000	
100-6000-790000	Unspent Reimbursement - ARPA Funds	-	-	-	-	2,970,557	-	4,343,338	3,579,318	
100-6000-800000	Uncollectable Debt	-	-	-	-	-	1,600,000	-	-	
PUBLIC SAFETY										
100-6450-645500	Police - Deputy in Residence	1,229,551	1,104,620	1,338,609	1,507,804	1,405,539	1,385,892	1,476,574	1,556,783	
100-6450-646000	Bayfront Park & Town Beautification	60,500	43,663	60,500	33,710	60,500	37,679	50,000	50,000	
100-6450-646500	North Beach VFD	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	
PUBLIC WORKS - SALARIES, TAXES & BENEFITS										
100-6450-602050	Payroll Taxes - Recreation Operations	-	-	3,000	2,476	3,000	2,568	3,000	3,000	
100-6500-602000	Salaries and Wages	454,844	451,995	468,489	466,256	525,000	519,994	560,140	365,801	
100-6500-602010	Recreation Operations - Salaries	-	-	100,000	11,261	82,000	73,049	106,856	121,853	
100-6500-602050	FICA - PW	39,905	33,585	41,102	34,430	49,000	42,168	49,358	30,179	
100-6500-602100	Medical and Life Insurance	143,641	79,690	147,950	83,971	170,000	98,407	161,413	134,105	
100-6500-602300	Retirement	54,303	60,051	74,000	64,276	82,000	79,084	86,709	54,870	
100-6500-602400	Continuing Education	7,500	2,325	5,000	6,350	10,000	11,960	7,000	8,500	
PUBLIC WORKS - SUPPLIES										
100-6500-665200	Gasoline & Tolls	24,750	23,230	24,750	33,134	40,000	27,651	40,000	20,000	
100-6500-665400	Equipment Repair & Maintenance	35,000	29,462	30,000	29,466	40,000	36,489	40,000	40,000	
100-6500-665600	Supplies	15,000	9,448	15,000	7,397	15,000	9,277	15,000	15,000	
PUBLIC WORKS - CONTRACTED SERVICES & FEES										
100-6500-671000	Fishing Creek Dredging	-	-	-	836,043	-	-	750,000	-	

100-6500-672000	Holiday Lights	93,204	82,797	90,000	76,391	110,000	97,247	110,000	110,000
100-6500-673000	Road Repairs & Maintenance	20,000	-	20,000	11,411	20,000	5,767	-	-
100-6500-674000	Trash Removal Service	550,000	540,000	550,000	539,657	550,000	570,600	590,000	595,000
100-6500-675000	Recycle Bins	10,000	12,367	10,000	9,928	12,000	9,982	12,000	12,000
100-6500-676000	Street Sweeping	-	-	-	-	-	-	8,100	2,700
PUBLIC WORKS - OTHER									
100-6500-684300	CBOCS Oyster Program	6,900	3,492	6,900	6,212	6,900	6,900	6,900	6,900
100-6500-684900	PW - Miscellaneous Expense	2,000	504	2,000	713	2,000	-	2,000	2,000
100-6500-685200	Property Maintenance - General	45,000	41,528	65,000	64,524	65,000	55,643	71,000	70,000
100-6500-685220	Property Maintenance - Landscaping	153,380	150,502	140,000	138,693	150,000	191,034	190,000	190,000
100-6500-685240	Property Maintenance - Tree Trimming	10,000	3,859	10,000	8,158	20,000	28,845	30,000	30,000
100-6500-685500	Recreation Operations - General	70,000	43,372	175,000	153,289	125,000	125,625	125,000	128,000
100-6500-686000	Snow & Ice Removal	40,000	37,997	40,000	58,224	50,000	2,312	50,000	50,000
100-6500-686100	Storm Drain Inspection & Maintenance	-	-	20,000	7,024	20,000	14,024	20,000	20,000
100-6500-686500	Street Lights	63,000	57,234	63,000	51,839	63,000	49,293	60,000	60,000
100-6500-687000	Telephone	8,100	7,882	9,000	9,985	11,000	6,912	11,000	10,000
100-6500-687500	Utilities	6,000	4,910	8,000	4,672	8,000	13,446	8,000	15,000
CAPITAL EXPENDITURES									
100-7100-725000	Capital Expenditures	1,279,199	234,372	1,175,013	192,777	1,482,352	795,107	1,504,808	1,794,635
100-8000-807000	DNR #7 Seawall \$25,150 (FY21)	25,150	25,150	25,150	-	-	-	-	-
TOTAL EXPENDITURES:		6,216,172	4,568,780	6,689,206	6,054,683	10,483,482	7,643,068	12,341,614	10,988,177
SURPLUS/DEFICIT:		-	2,130,158	-	4,509,380	-	1,891,773	-	-

Capital Budget - GF
 FY25 - FY29

PROJECT	FUND	FY25	FY26	FY27	FY28	FY29
Asphalt Overlay & Road Repairs	General	464,635	539,635	539,635	352,135	352,135
Railway Trail	General	75,000			187,500	187,500
Sidewalks	General	100,000	100,000	100,000	100,000	100,000
Safe Route to Schools	General	250,000	-	600,000	600,000	-
Miller - Loveless Park at Kellam's	General	250,000	-	-	-	-
Miller - Loveless Park at Kellam's - Storm Drain	General	250,000	-	-	-	-
Coastal Resiliency	General	-	-	250,000	250,000	250,000
Stormwater Drainage Improvements	General	-	100,000	100,000	100,000	100,000
DNR - Fishing Creek - DNP Clean Out	General	-	-	1,500,000	-	-
Town Hall - Flooring	General	-	20,000	-	-	-
Town Hall - Kitchen Renovation	General	15,000	-	-	-	-
Town Hall - HVAC Replacement	General	125,000	-	-	-	-
Town Hall - Atrium Upgrades	General	50,000	-	-	-	-
Property Acquisition - Land Improvements	General	50,000	-	-	-	-
Truck Replacements	General	65,000	70,000	-	-	70,000
Replace RTV	General	-	-	-	35,000	-
Replace ToolCat	General	-	-	75,000	-	-
Town Garage - Office Renovation	General	-	25,000	-	-	-
Veteran's Park	General	50,000	-	-	-	-
Kellam's - Concession Stand	General	50,000	-	-	-	-
Kellam's - Access Control	General	-	50,000	-	-	-
TOTAL CAPITAL EXPENDITURES		1,794,635	904,635	3,164,635	1,624,635	1,059,635



CHESAPEAKE BEACH FY25 SCHEDULE OF FEES, Effective July 1, 2024

	FY24	FY25
PERMIT FEES		
Rental License Permit	\$ 250.00	\$ 300.00
Rental Inspection "No Access" or Revisit Fee	\$ 100.00	\$ 150.00
Grading, vegetation or tree removal permit	\$ 150.00	\$ 150.00
Public Works Permit (Water / Sewer)	\$ 325.00	\$ 325.00
Commercial building permit	\$ 180.00	\$ 180.00
Residential building permit	\$ 150.00	\$ 150.00
Misc. permit (misc imp., fence, shed, deck, pool-under 150 sqft or less without electric)	\$ 50.00	\$ 50.00
Home occupation permit	\$ 100.00	\$ 100.00
After the fact permit fee	<i>see Town code for fee structure</i>	<i>200% of the fee otherwise imposed or \$300, whichever is greater</i>
BOARD OF PORT WARDENS		
Permit Review		\$ 250.00
TOWER PERMIT		
Tower permit review charge		900.00
ZONING FEES		
Official Administrative Interpretation	\$ 400.00	\$ 400.00
Zoning Ordinance Interpretation		\$ 75.00
Official Zoning Letter	\$ 250.00	\$ 250.00
Property line adjustment	\$ 250.00	\$ 250.00
Zoning Map Amendments		\$ 500.00
Zoning Text Amendment	\$ 1,200.00	\$ 1,200.00
Minor/ Administrative Revision(s) to Approved Site Plan-Category 1 Site Plans	\$ 325.00	\$ 325.00
Minor/ Administrative Revision(s) to Approved Site Plan-Category 2 Site Plans	\$ 100.00	\$ 100.00
Commercial Use & Occupancy Permit (no modifications)	\$ 50.00	\$ 50.00
Commercial Use & Occupancy Permit (modifications)		\$ 150.00
Zoning Site Inspection	\$ 50.00	\$ 50.00
BOARD OF APPEALS		
Appeal of Administrative Decision/Interpretation to the Board of Appeals	\$ 500.00	\$ 500.00
Variance (for single-family accessory structure, such as decks and sheds)	\$ 250.00	\$ 250.00
Critical Area Variance (for single-family accessory structure, such as decks and sheds)		\$ 500.00
SITE PLAN REVIEW		
<i>CATEGORY 1: All commercial and institutional developments, multifamily dwellings, senior housing projects, and attached dwelling units.</i>		
Base application fee	\$ 300.00	\$ 300.00
<i>CATEGORY 2: Single family detached dwellings, bed and breakfast facilities, inns, boarding houses, accessory uses and rehabilitation projects with minor impact.</i>		
Base application fee	\$ 425.00	\$ 300.00
Plus:		
New building with a gross floor area under 2,300 square feet	\$ 2,400.00	\$ 2,400.00
New building with a gross floor area of 2,300 square feet to 10,000 square feet	\$ 5,280.00	\$ 5,280.00
New building with a gross floor area of 10,000 square feet to 20,000 square feet	\$ 5,808.00	\$ 5,808.00
New building with a gross floor area of 20,000 square feet	\$ 8,712.00	\$ 8,712.00
Residential site plans with 10 or fewer units	\$ 4,800.00	\$ 4,800.00
Residential site plans with more than 10 units	\$ 9,000.00	\$ 9,000.00
CRITICAL AREA SITE PLAN		
Base application fee	\$ 650.00	\$ 750.00
Plus:		
New building with a gross floor area under 2300 square feet	\$ 2,400.00	\$ 2,640.00
New building with a gross floor area of 2,300 square feet to 10,000 square feet	\$ 5,280.00	\$ 5,808.00
New building with a gross floor area of 10,000 square feet to 20,000 square feet	\$ 5,808.00	\$ 6,388.80
New building with a gross floor area of 20,000 square feet	\$ 8,712.00	\$ 9,583.20
Residential site plans with 10 or fewer units	\$ 5,280.00	\$ 5,808.00
Residential site plans with more than 10 units	\$ 7,920.00	\$ 8,712.00
PUBLIC WORKS AGREEMENTS		
Public Works Agreement (water/sewer)	\$ 2,000.00	\$ 2,500.00
Public Works Agreement (all other including roads, grading, storm drains etc.)	2% of construction cost estimate	5% of construction cost estimate
Public Works Agreement - Time Extensions		1,000.00
APPLICATION OF EXTENSION OF APPROVED SITE PLAN		
Extension of approved Category 1 site plan	\$ 550.00	\$ 550.00
Extension of approved Category 2 site plan	\$ 200.00	\$ 200.00
CODE ENFORCEMENT		
Citation	\$ 500.00	\$ 500.00
Site Inspection (per inspection)		\$ 50.00
PUBLIC BOAT RAMP FEES		
Season Pass		
Season Pass fee Chesapeake Beach municipal residents	-	-
Season Pass fee State of MD residents	-	-
Season Pass fee out of State of MD residents	-	-
In/Out Ramp Fee		
In / Out ramp fee Chesapeake Beach municipal residents	-	-
One way ramp fee Chesapeake Beach municipal residents	-	-
In/ Out ramp fee State of MD residents	-	-
One way ramp fee State of MD residents	-	-
In / Out ramp fee out of State of MD residents	-	-
One way ramp fee out of State of MD residents	-	-
Parking		
Public parking of boat trailer while launched	-	-
ADMINISTRATIVE		

Administrative fee (flat fee)	\$	50.00	\$	50.00
Stop Work fee	\$	500.00	\$	500.00
TRASH & RECYCLING BINS				
Bulk Item Excess Fee (per item)*	\$	-	\$	100.00
Recycle bin replacements	\$	60.00	\$	60.00
TRIBUTE BRICKS				
Veterans' memorial brick	\$	200.00	\$	200.00
PUBLIC RECORDS				
Copies	\$	-	\$	-
Fee for each copy made by photocopying machine within Town Hall	\$	0.25	\$	0.25
<i>Fee for each copy made otherwise shall be based on actual cost of reproduction</i>				
Certification of copies		\$1/page		\$1/page
<i>Minimum fee. No charge will be made if the total fee is less than \$1</i>				
Fees are based upon the persons needed to perform the activities, and the rates for such persons are per hour:				
Town Hall staff and the custodian or the custodian's designees	\$	35.00	\$	35.00
Town Administrator or Zoning Administrator	\$	150.00	\$	150.00
Town Attorney	\$	250.00	\$	250.00
Town Engineer	\$	150.00	\$	150.00

*Excess of twice annually (3 items)